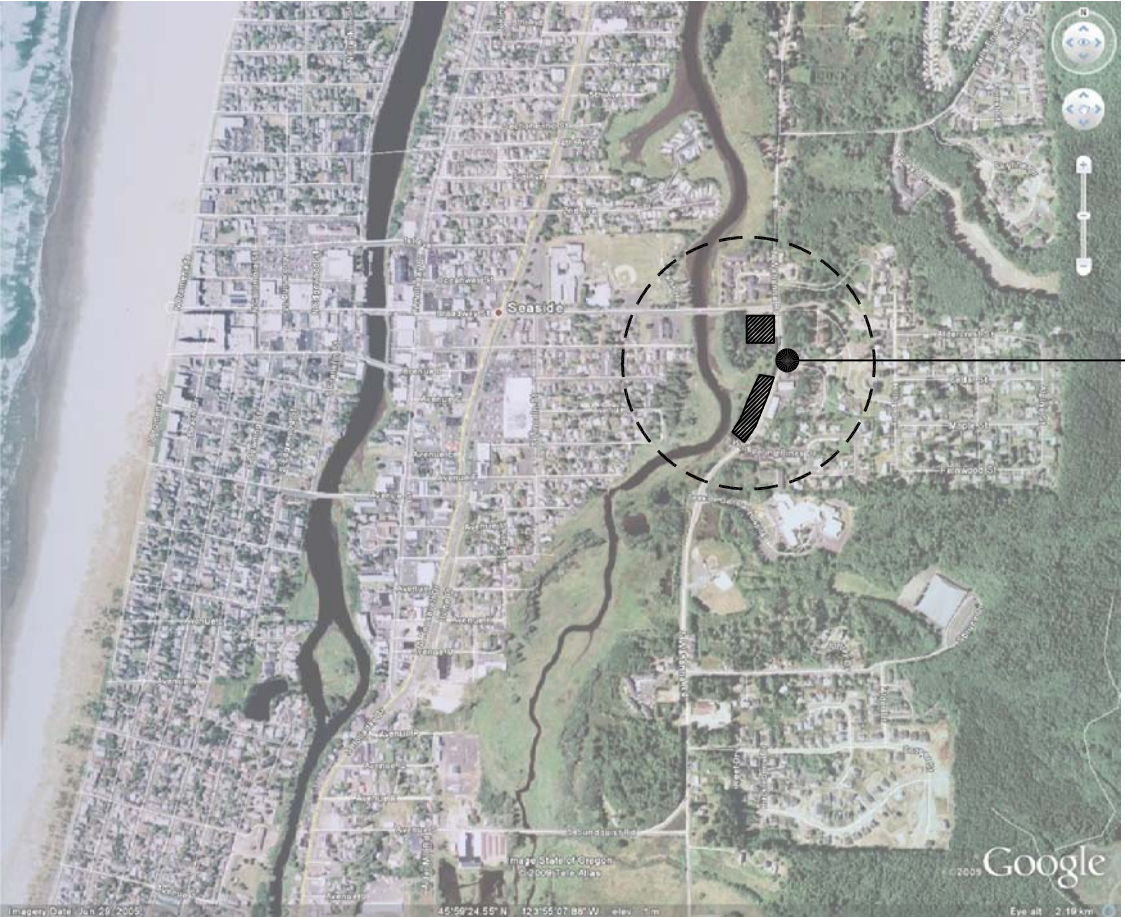
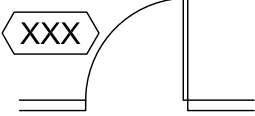
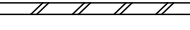
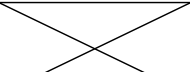
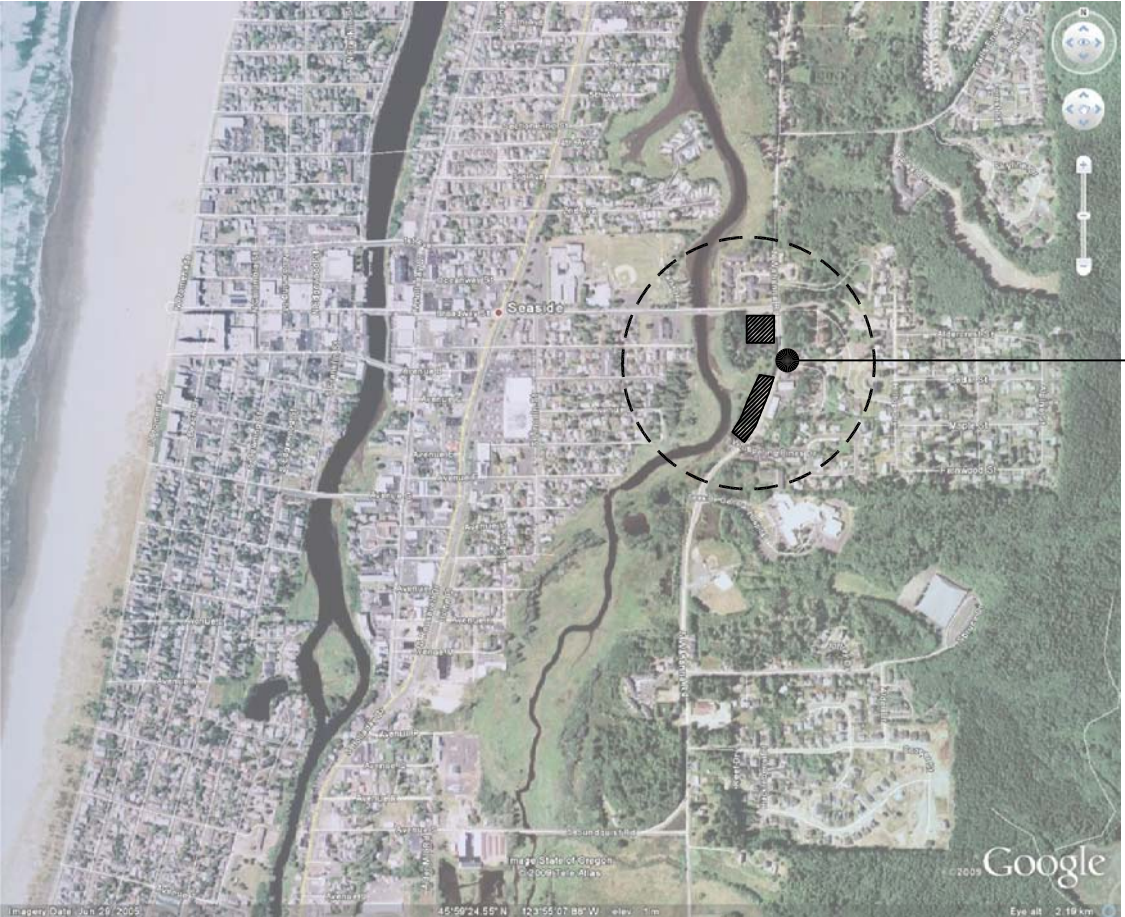
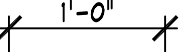


SANDHILL APARTMENTS REHABILITATION

150 S. WAHANNA ROAD, SEASIDE, OREGON

ABBREVIATIONS			PROJECT TEAM:			PROJECT DESCRIPTION:			BUILDING CODE INFORMATION:			SHEET INDEX:		
A.B. ABBR. A.C. A.D. ADJ. A.F.F. AGG. A.H.U. ALT. AL. A.P. A.T.	ANCHOR BOLT ABBREVIATION AIR CONDITIONING AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE AIR HANDLING UNIT ALTERNATE ALUMINIUM ACCESS PANEL ACOUSTICAL TILE PANEL	F.D. FDN. F.E. F.E.C. FIN. F.F. F.F.E. F.H. FLASHG. FLOUR. F.O. F.O.B. F.O.C. F.O.F. F.O.I.C.	FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FINISHED FLOOR FINISHED FLOOR ELEVATION FIRE HYDRANT FLASHING FLUORESCENT FURNISHED BY OWNER FACE OF BRICK FACE OF CONCRETE FACE OF FINISH FURNISHED BY OWNER/ INSTALLED BY CONTRACTOR FURNISHED BY OWNER/ INSTALLED BY OWNER FACE OF MASONRY FACE OF STUD FIREPLACE FIRE RETARDENT TREATED FRAMING FOOT OR FEET FOOTING FUTURE	PTD. PREFIN. P.L. P.LAM. P.W.D. PR. PRPT. P.T. Q.T.	PAINT PREFINISHED PROPERTY LINE PLASTIC LAMINATE PLYWOOD PAIR PARAPET PRESSURE TREATED QUARRY TILE	OWNER: NORTHWEST OREGON HOUSING AUTHORITY 147 SOUTH MAIN AVENUE P O BOX 1149 WARRENTON, OREGON 97416 ARCHITECT: CARLETON HART ARCHITECTURE 322 NW 8TH AVENUE PORTLAND, OREGON 97209 503.243.2252 CONTACT: BRIAN CARLETON STRUCTURAL: TM RIPPEY CONSULTING ENGINEERS 7650 SW BEVELAND ST., SUITE 100 TIGARD, OREGON 97223 503.443.3900 CONTACT: RALPH TURNBAUGH GENERAL CONTRACTOR: LMC INCORPORATED 8324 SW NIMBUS AVENUE BEAVERTON, OREGON, 97008 503.646.0521 CONTACT: CLYDE ZAHN	PROJECT DESCRIPTION: SELECTIVE REHABILITATION TO EXTERIOR, INTERIOR, AND SITE. WORK TO INCLUDE THE FOLLOWING: - NEW SIDING AND WINDOWS AT ALL BUILDINGS - SELECTIVE REPAIR TO FOOTINGS - COMPLETE FRONT AND BACK DECK REPLACEMENT - NON STRUCTURAL RENOVATION TO INTERIORS - SELECTIVE SITE GRADING AND REPAIRS TO PARKING LOT - NEW NON-HABITABLE ACCESSORY STRUCTURE FOR TRASH ENCLOSURE. ADDRESS: 150 S. WAHANNA RD. SEASIDE, OR 97138 BUILDING CODE INFORMATION: STATE OF OREGON 2007 STRUCTURAL SPECIALTY CODE BASED ON 2006 INTERNATIONAL BUILDING CODE OCCUPANCY: R-2 RESIDENTIAL CONTAINING MORE THAN 2 DWELLING UNITS CONSTRUCTION TYPE: * NO CHANGE TO EXISTING HEIGHT, AREA, OCCUPANCY OR CONSTRUCTION TYPE WITH PROPOSED WORK ZONING CODE INFORMATION: CITY OF SEASIDE ZONING CODE ZONING DESIGNATION: R3 HIGH DENSITY RESIDENTIAL FLOOD PLAIN: A1	A0.1 COVER SHEET ARCHITECTURAL: A1.0 SITE PLAN A1.1 SITE DETAIL AD2.1 BUILDING A-1 DEMO PLAN AD2.1 BUILDINGS A-2 & A-3 DEMO PLAN AD2.3 BUILDINGS B-1 & B-2 DEMO PLAN A2.0 UNIT FLOOR PLAN A2.1 BUILDING A-1 PLANS A2.2 BUILDINGS A-2 & A-3 PLANS A2.3 BUILDINGS B-1 & B-2 PLANS A2.11 BUILDING A-1 FRAMING PLANS A2.12 BUILDINGS A-2 & A-3 FRAMING PLANS A2.13 BUILDINGS B-1 & B-2 FRAMING PLANS A3.0 BUILDING ELEVATION AND SECTION A5.1 TRASH ENCLOSURE A5.2 EXTERIOR DETAILS A5.3 EXTERIOR DETAILS A5.4 EXTERIOR DETAILS A5.5 EXTERIOR DETAILS A6.0 EXTERIOR DETAILS						
BD. B.F. BLDG. BLKG. B.O. B.O.F. B.U.	BOTTOM BOARD BIFOLD BUILDING BLOCKING BY OWNER BOTTOM OF FOOTING BUILT UP	F.O.I.O. F.O.M. F.O.S. FP. F.R.T. FRMG. FT. FTG. FUT.	INSTALLED BY CONTRACTOR FURNISHED BY OWNER/ INSTALLED BY OWNER FACE OF MASONRY FACE OF STUD FIREPLACE FIRE RETARDENT TREATED FRAMING FOOT OR FEET FOOTING FUTURE	R. R.B. RD. REF. RFR. REQ. REV. R.O. RM. RR R & S S. S.C. SECT. S.G.D. SH. SHR. SHT. SIM. S.O.G. S.G. SPEC. S/R SQ. S.ST. ST. STD. STL STRUCT. SUSP. S.V.	RADIUS OR RISER RUBBER BASE ROOF DRAIN REFERENCE REFRIGERATOR REQUIRED OR REQUIREMENTS REVERSE OR REVISED ROUGH OPENING ROOM REMOVE & REPLACE ROD & SHELF SINK OR SOUTH SOLID CORE SECTION SLIDING GLASS DOOR SHELF SHOWER SHEET SIMILAR SLAB ON GRADE SAFETY GLASS SPECIFICATION SHELF AND ROD SQUARE STAINLESS STEEL STAIN STANDARD STEEL STRUCTURAL SUSPENDED SHEET VINYL									
C.I.P. C.H. C.J. CLG CLR. C.M.U. CMGC COL CONC. CONN. CONN. CONT C.P. CPT. CTSK. C.T. CONTR.	CAST IN PLACE CONDUCTOR HEAD CONTROL JOINT CEILING CLEAR CONCRETE MASONRY UNIT CONSTRUCTION MANAGEMENT/ GENERAL CONTRACTOR COLUMN CONCRETE CONNECTION CONTINUOUS CEMENT PLASTER CARPET COUNTERSINK CERAMIC TILE CONTACTOR	GA GALV. GL G.M.U. GYP. H.B. H.C. HDR. H.M. HORIZ. HT.	GAUGE GALVANIZED GLASS GLASS MASONRY UNIT GYPSUM HOSE BIB HOLLOW CORE HEADER HOLLOW METAL HORIZONTAL HEIGHT	T. T.B.R. T/G T.G. T.O.C. TOP OF CURB T.O.F. TOP OF FRAMING T.O.P. TOP OF PLATE T.O.PLY. TOP OF PLYWOOD T.O.S. TOP OF SLAB T.O.W. TOP OF WALL TP. TOILET PAPER DISPENSER T.S. TUBE SECTION TYP. U.O.N. V.B. V.C.T. VERT. VIN.	TOP OF TREAD TO BE REMOVED TONGUE AND GROOVE TEMPERED GLASS TOP OF CURB TOP OF FRAMING TOP OF PLATE TOP OF PLYWOOD TOP OF SLAB TOP OF WALL TOILET PAPER DISPENSER TUBE SECTION TYPICAL UNLESS OTHERWISE NOTED VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL VINYL									
DBL. DET. D.F. DIAG DISP. DIA. DIM. DN. D.P. DR. DR. DS. DWG. D.W. DWR.	DOUBLE DETAIL DRINKING FOUNTAIN DIAGONAL DISPENSER DIAMETER DIMENSION DOWN DIMENSION POINT DOOR DOWNSPOUT DRAWING DISHWASHER DRAWER	INSUL. INT. JAN. JT. LAV. LT. L.W.C. MANF. MATL. MAX. MECH. MH. M.O. MIN. MTL.	INSULATION INTERIOR JANITOR JOINT LAVATORY LIGHT LIGHT WEIGHT CONCRETE MANUFACTURER MATERIAL MAXIMUM MECHANICAL MANHOLE MASONRY OPENING MINIMUM METAL	W. W.C. WD W/D W.G W.H. WP. W/ W/O W.R.G.B. WSCT. WT. W.W.F.	WEST WATER CLOSET WOOD WASHER & DRYER WIRE GLASS WATER HEATER WATERPROOF WITH WITHOUT WATER RESISTANT GYP. BOARD WAINSCOT WEIGHT WELDED WIRE FABRIC									
E. EA. E.I.F.S. E.J. ELEC. ELEV. E.P. EQ. EQUIP. E.W. E.W.C. EX. EXP. EXT.	EAST EACH EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT ELECTRICAL ELEVATION OR ELEVATOR ELECTRICAL PANEL EQUAL EQUIPMENT EACH WAY ELECTRIC WATER COOLER EXISTING EXPPOSED OR EXPANSION EXTERIOR	N. N.I.C. NO. NOM N.T.S. OA O.C O.D OFF. OH.D OPG OPP.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER OFFICE OVERHEAD DOOR OPENING OPPOSITE											

DRAWING SYMBOLS				MATERIAL SYMBOLS:	VICINITY MAP (NOT TO SCALE)	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	 PROJECT SITE
	DETAIL REFERENCE SYMBOL		WALL TYPE REFERENCE SYMBOL		EARTH / COMPACT FILL	
	BUILDING SECTION REFERENCE SYMBOL		GRID IDENTIFICATION SYMBOL		GRANULAR FILL / GRAVEL DRAINAGE FILL	
	WALL SECTION REFERENCE SYMBOL		DOOR SYMBOL		CONCRETE	
	EXTERIOR ELEVATION REFERENCE SYMBOL		WINDOW SYMBOL		STEEL / METAL	
	INTERIOR ELEVATION REFERENCE SYMBOL		REVISION REFERENCE SYMBOL		ROUGH CARPENTRY (CONTINUOUS)	 PROJECT SITE
			DIMENSION LINE - FACE OF STUD / C.I. OPENING - U.O.N.		ROUGH CARPENTRY (BLOCKING)	



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150 S. WAHANNA ROAD, SEASIDE, OREGON

PERMIT SET

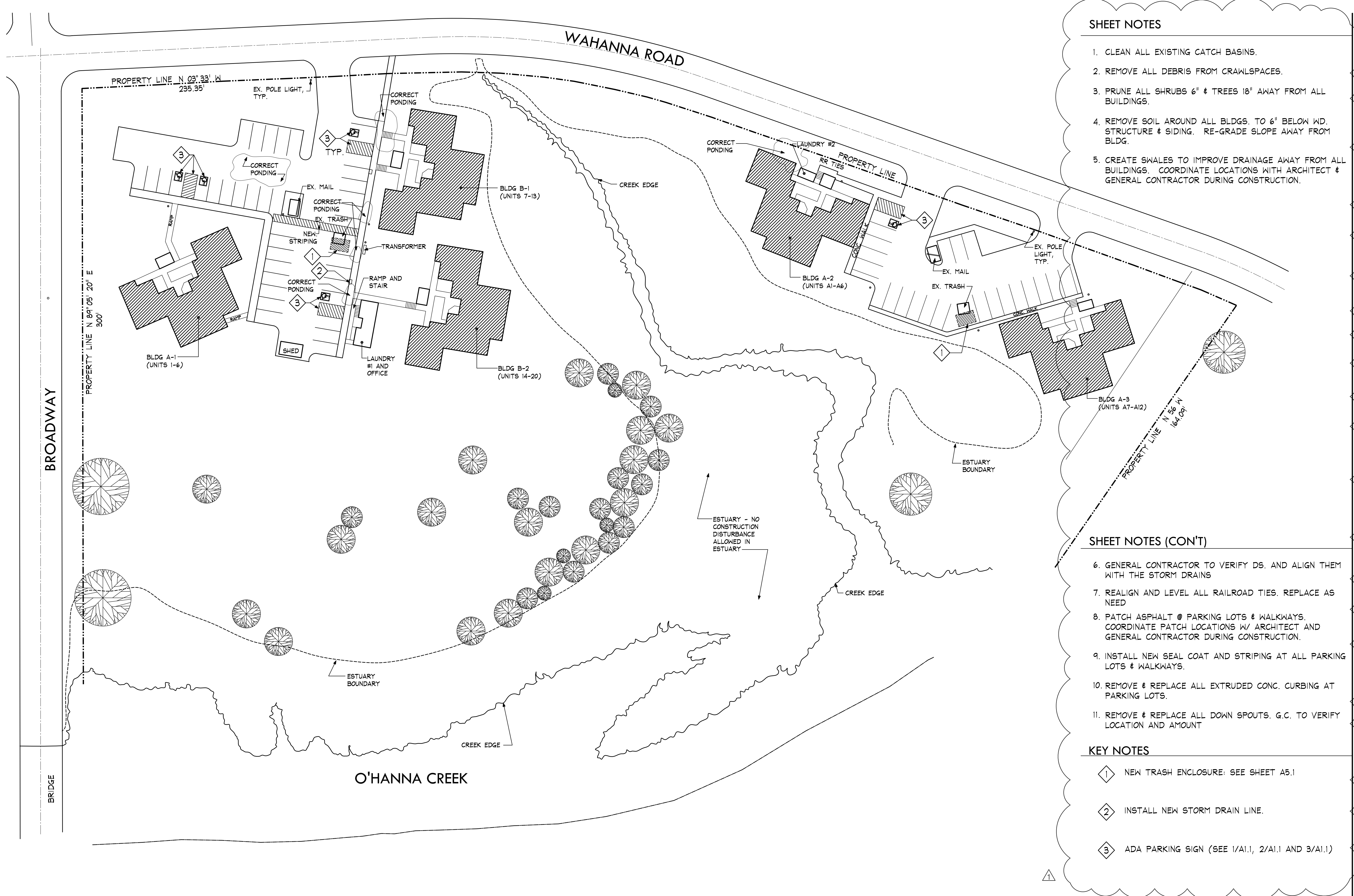
COVER SHEET

PROJ NO.
20802

01.12.10

A0.1

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SHEET NOTES

1. CLEAN ALL EXISTING CATCH BASINS.
2. REMOVE ALL DEBRIS FROM CRAWLSPACES.
3. PRUNE ALL SHRUBS 6" & TREES 18" AWAY FROM ALL BUILDINGS.
4. REMOVE SOIL AROUND ALL BLDGS. TO 6" BELOW WD. STRUCTURE & SIDING. RE-GRADE SLOPE AWAY FROM BLDG.
5. CREATE SWALES TO IMPROVE DRAINAGE AWAY FROM ALL BUILDINGS. COORDINATE LOCATIONS WITH ARCHITECT & GENERAL CONTRACTOR DURING CONSTRUCTION.

SHEET NOTES (CON'T)

6. GENERAL CONTRACTOR TO VERIFY DS. AND ALIGN THEM WITH THE STORM DRAINS
7. REALIGN AND LEVEL ALL RAILROAD TIES. REPLACE AS NEEDED
8. PATCH ASPHALT @ PARKING LOTS & WALKWAYS. COORDINATE PATCH LOCATIONS W/ ARCHITECT AND GENERAL CONTRACTOR DURING CONSTRUCTION.
9. INSTALL NEW SEAL COAT AND STRIPING AT ALL PARKING LOTS & WALKWAYS.
10. REMOVE & REPLACE ALL EXTRUDED CONC. CURBING AT PARKING LOTS.
11. REMOVE & REPLACE ALL DOWN SPOUTS. G.C. TO VERIFY LOCATION AND AMOUNT

KEY NOTES

- 1 NEW TRASH ENCLOSURE: SEE SHEET A5.1
- 2 INSTALL NEW STORM DRAIN LINE.
- 3 ADA PARKING SIGN (SEE 1/A1.1, 2/A1.1 AND 3/A1.1)

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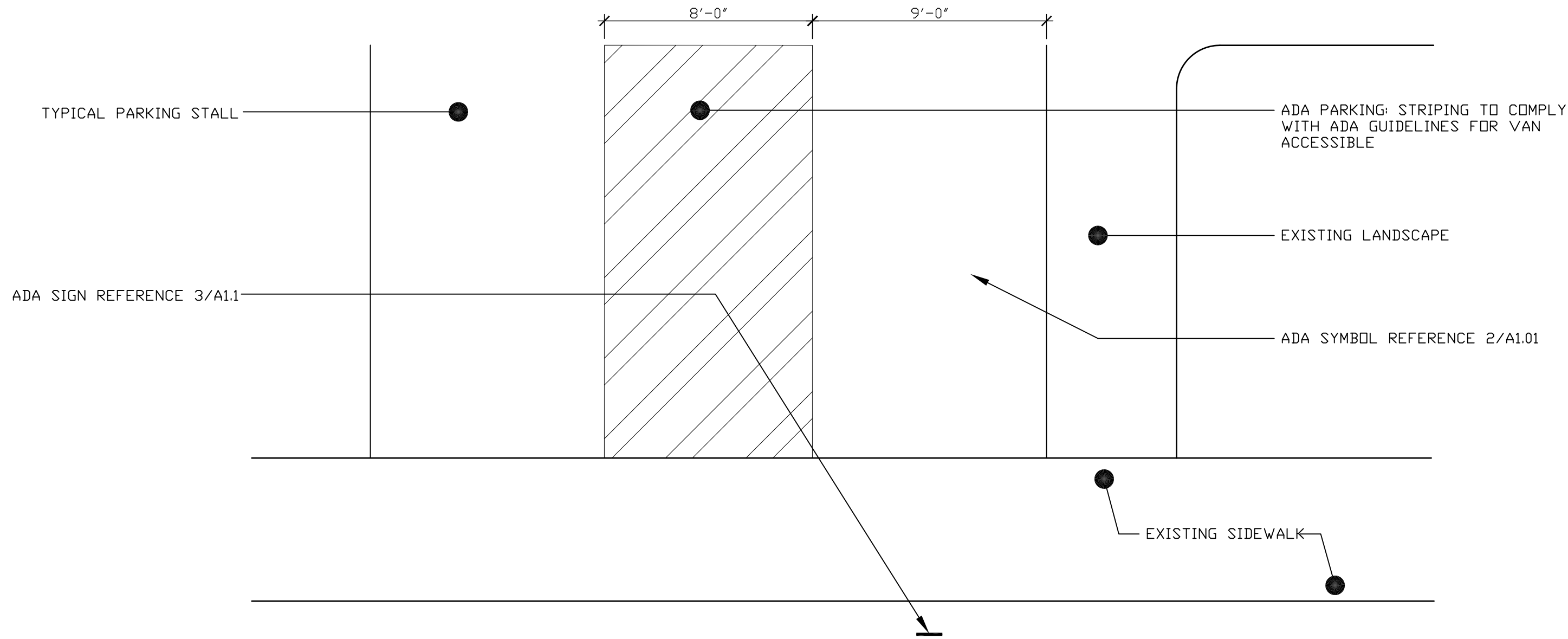
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SITE PLAN
PROJ NO.
20802
01.12.10

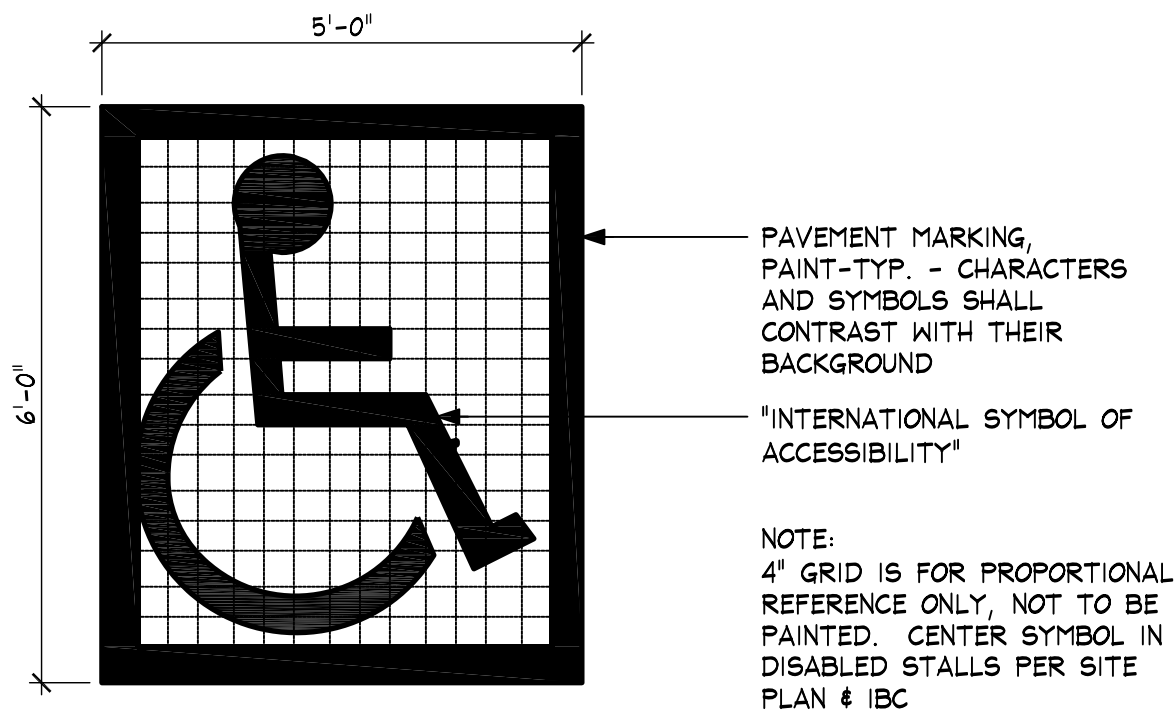
2/01/10 ASI#1

1 SITE PLAN
SCALE: 1/32"=1'-0"

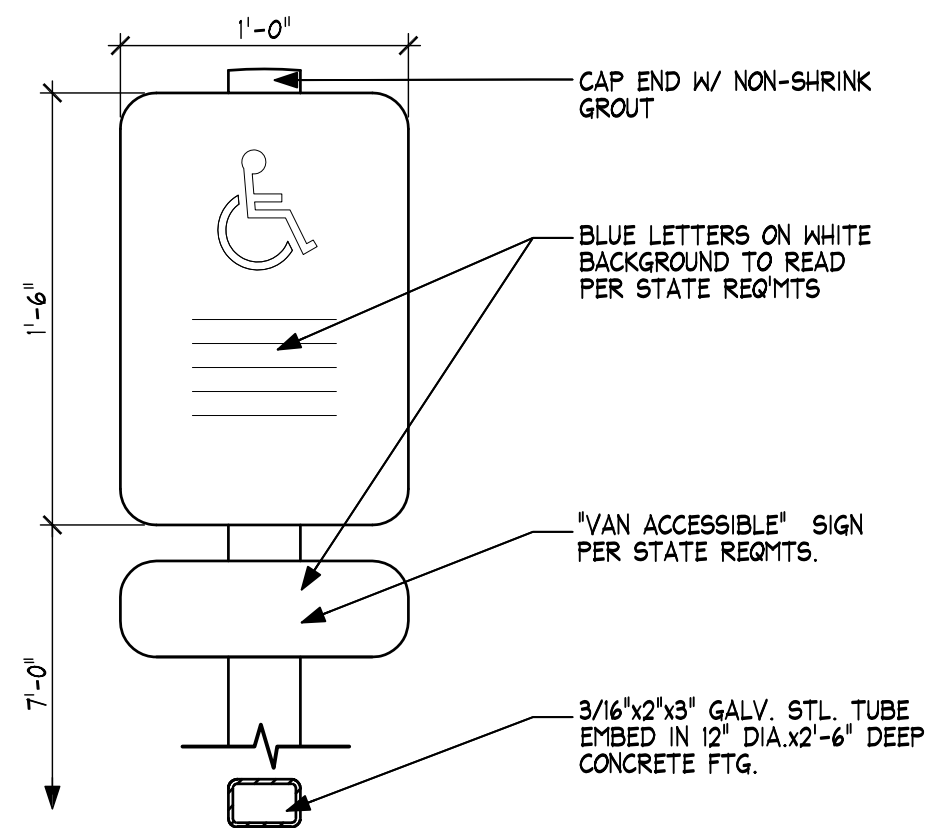
A1.0



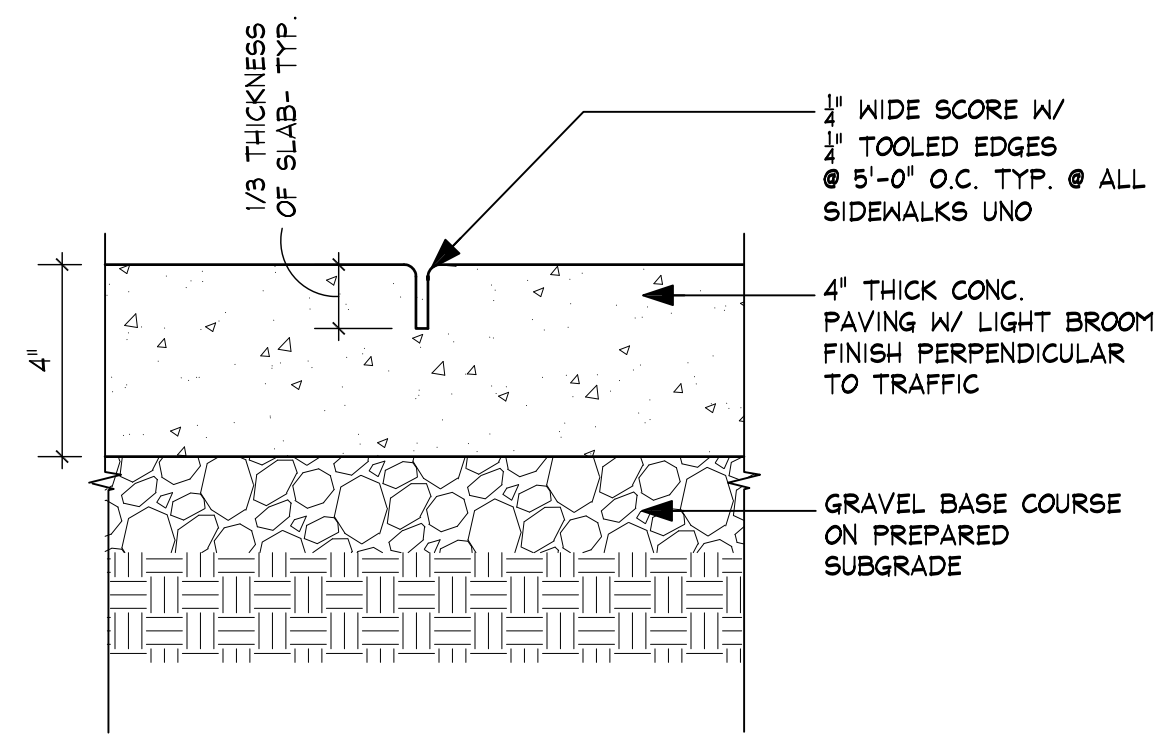
1 VAN ACCESSIBLE PARKING
SCALE: 1/4" = 1'-0"



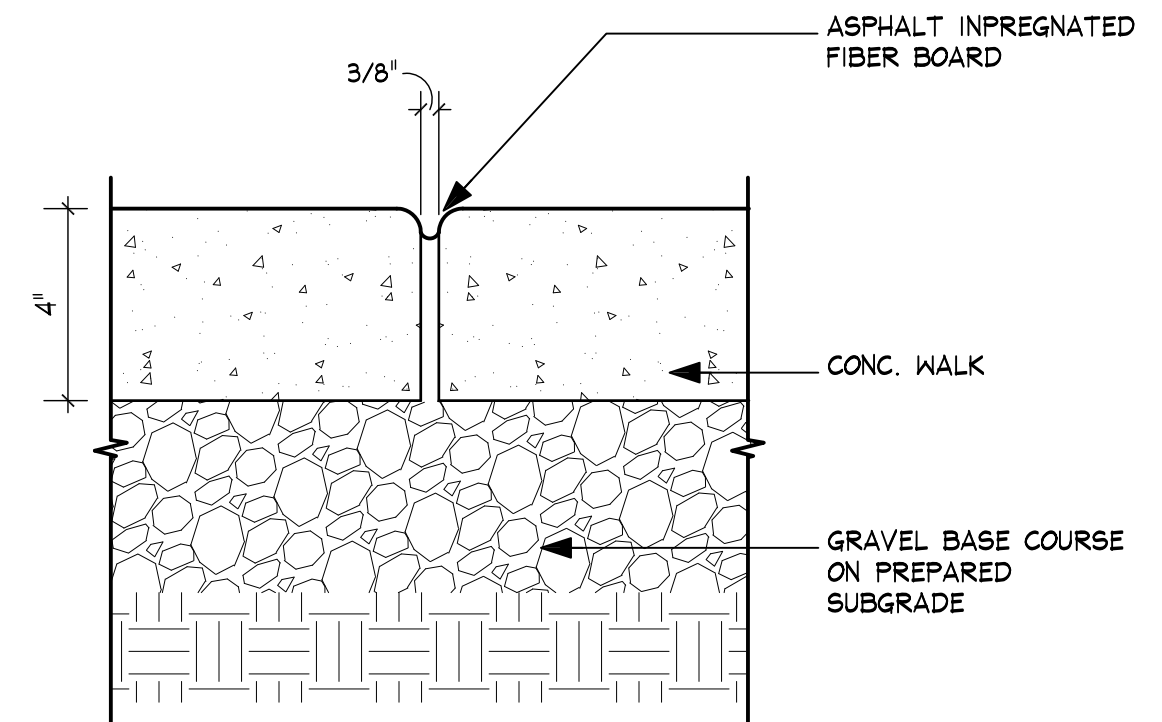
2 HANDICAP SYMBOL
SCALE: 1-1/2" = 1'-0"



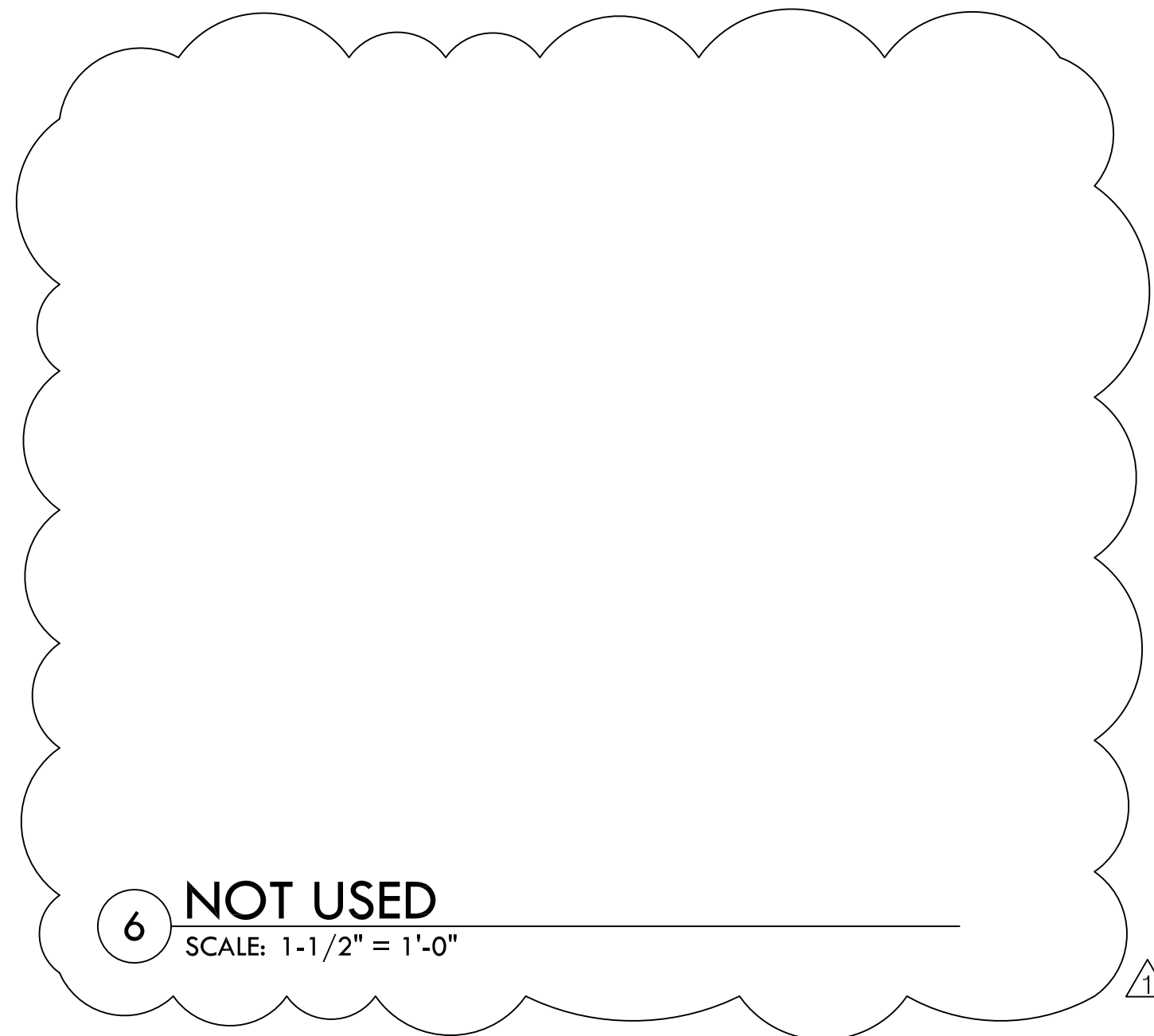
3 HANDICAP PARKING SIGN
SCALE: 1-1/2" = 1'-0"



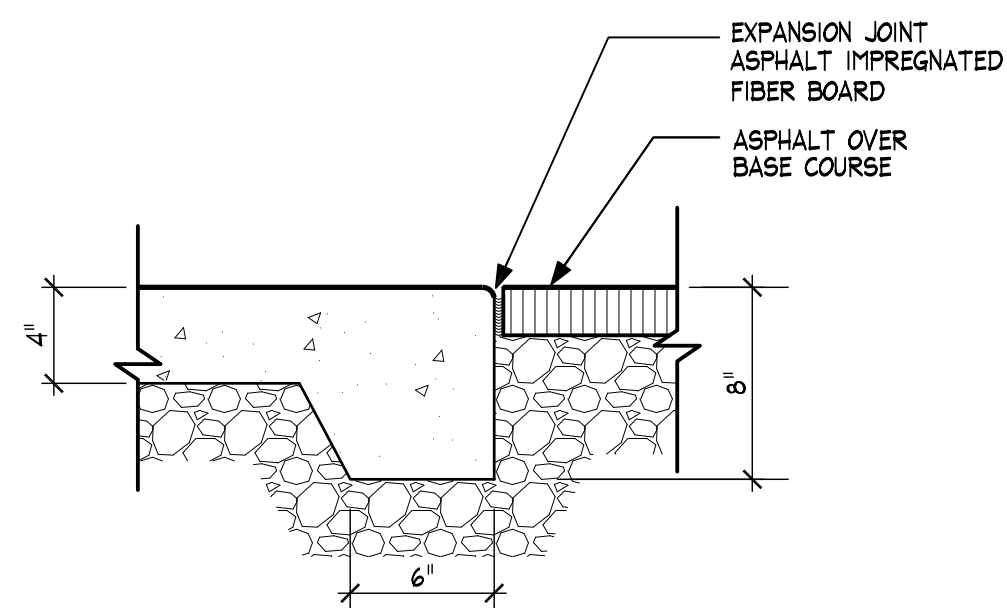
4 CONC. SIDEWALK/CONTROL JOINT
SCALE: 3" = 1'-0"



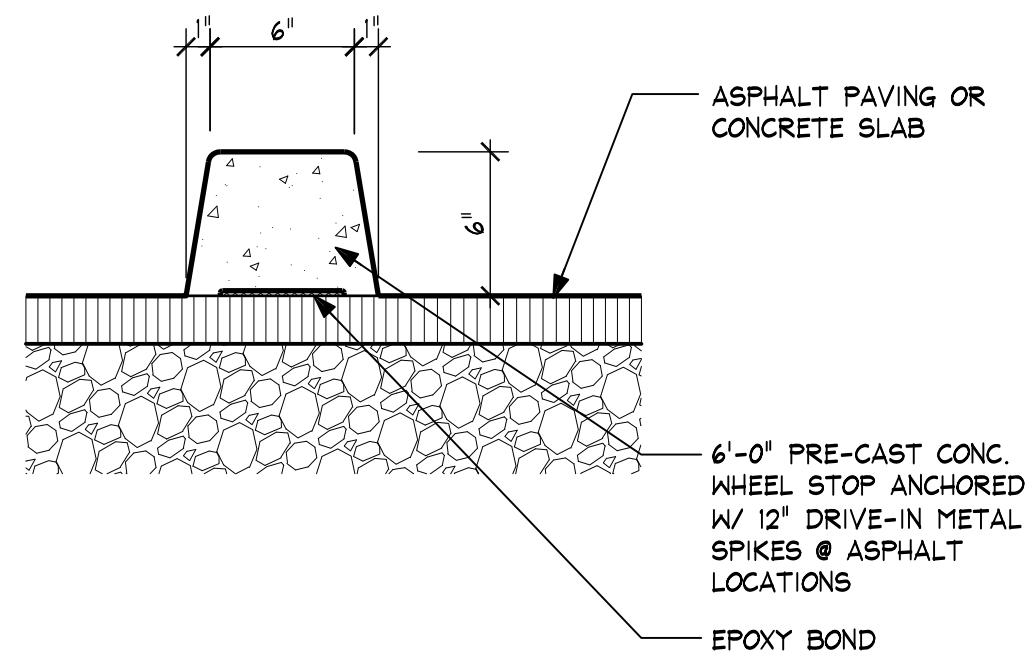
5 CONC. SIDEWALK/EXPANSION JOINT
SCALE: 3" = 1'-0"



6 NOT USED
SCALE: 1-1/2" = 1'-0"



7 CONCRETE SLAB AT A.C. PAVING
SCALE: 1-1/2" = 1'-0"



8 CONCRETE WHEEL STOP
SCALE: 1 1/2" = 1'-0"



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DETAILS

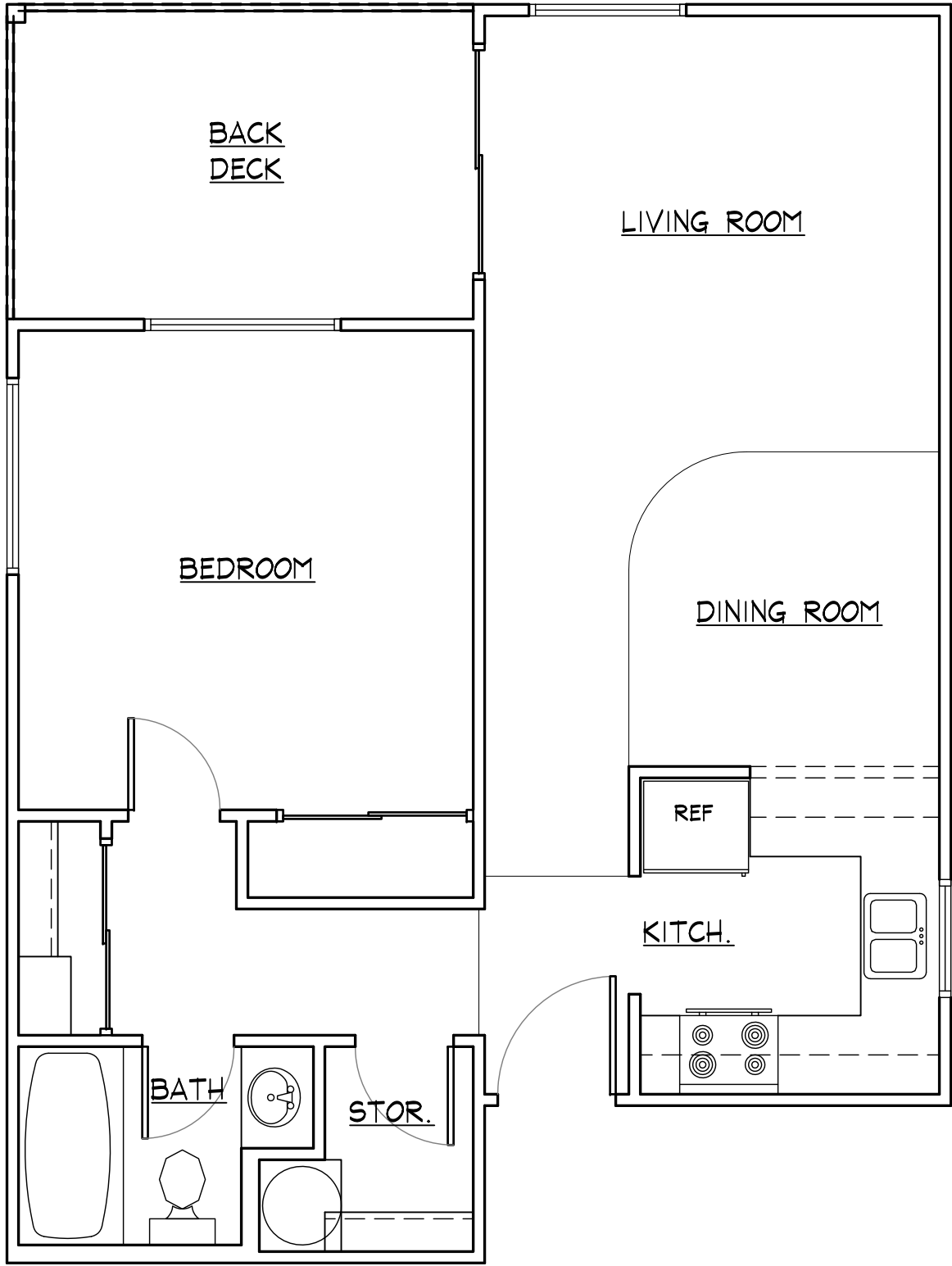
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01.12.10

2/01/10 ASI#1

A1.1

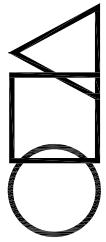
1. THIS SHEET IS FOR REFERENCE ONLY



1 TYP. ONE BEDROOM FLOOR PLAN
SCALE: 1/4"=1'-0"



2 TYP. TWO BEDROOM FLOOR PLAN
SCALE: 1/4"=1'-0"



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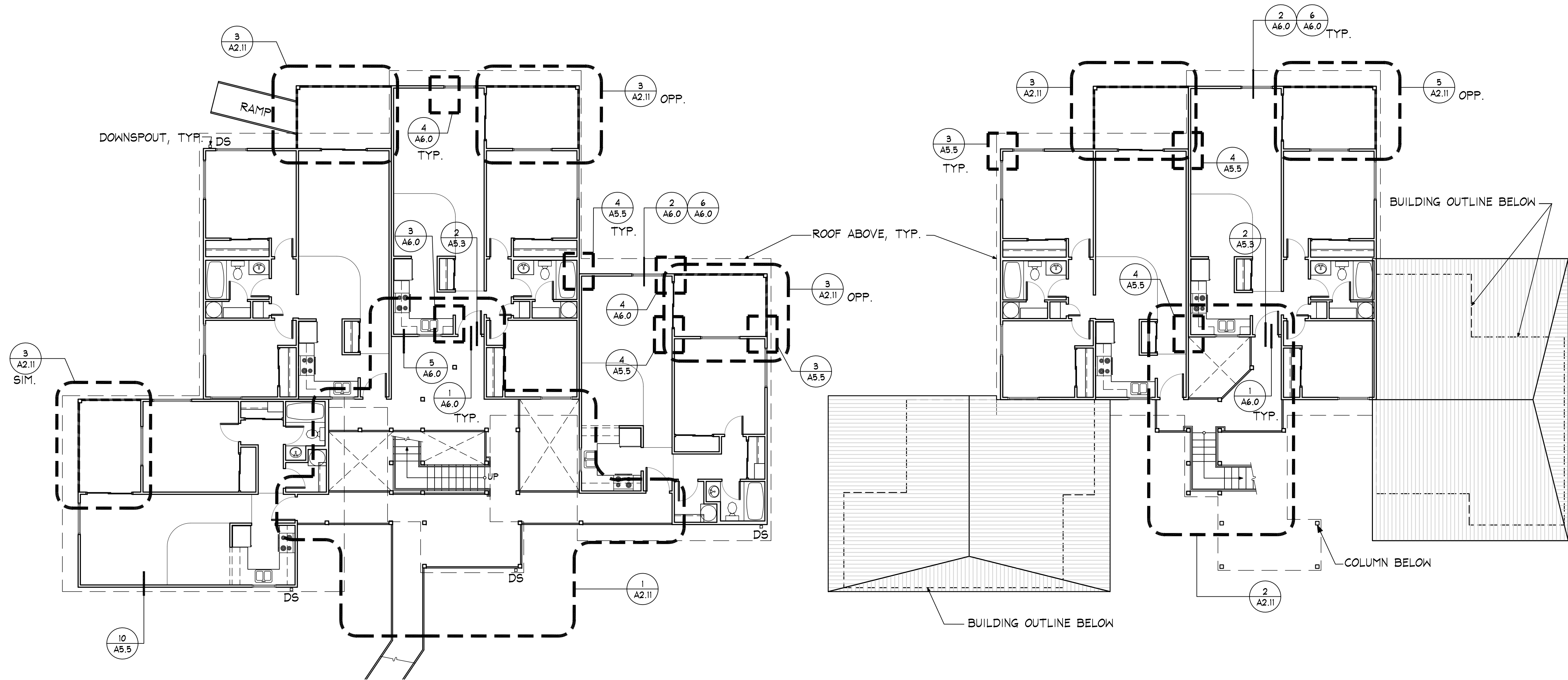
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UNIT FLOOR PLANS

PROJ NO.
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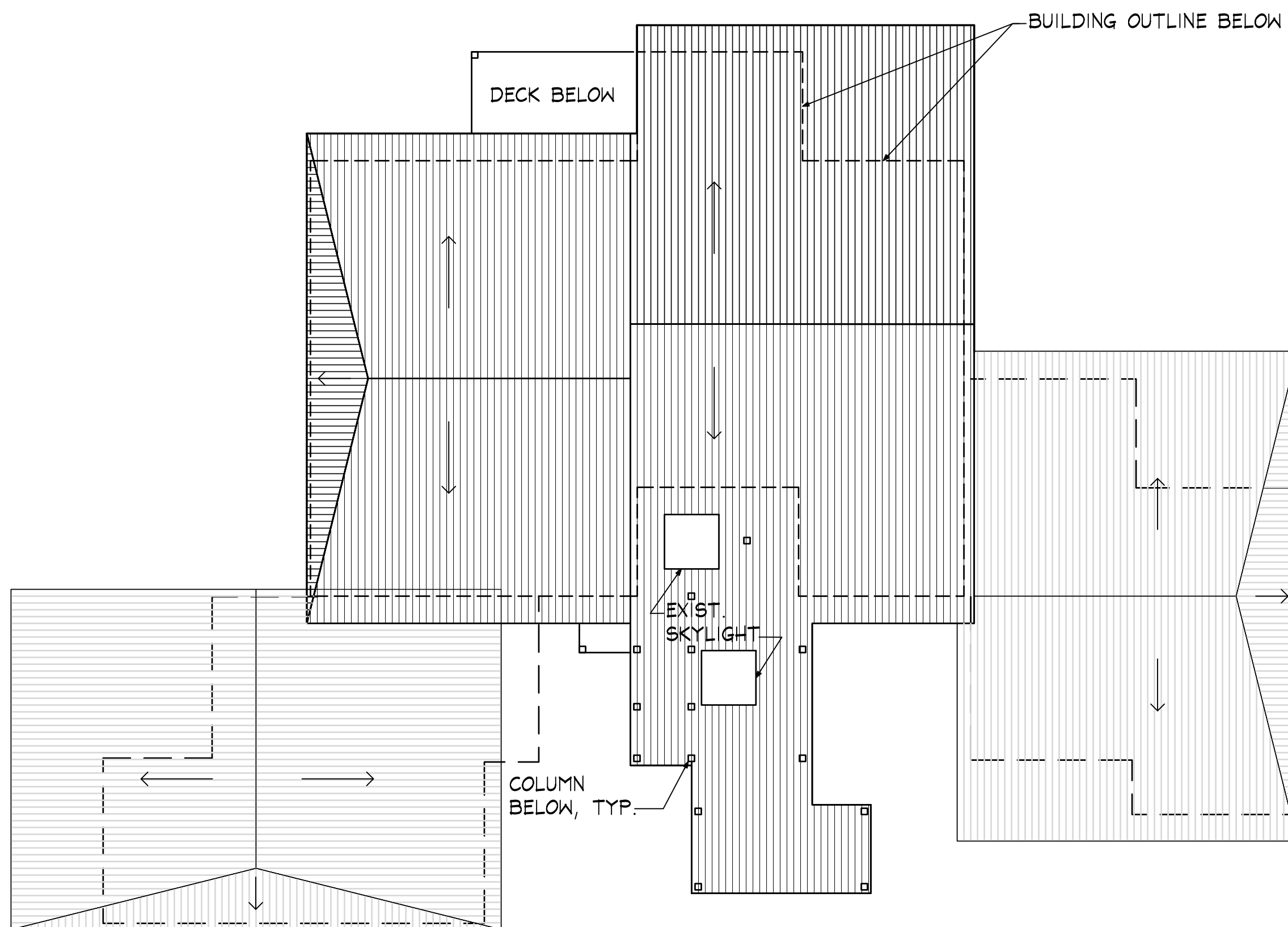
01.12.10

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1 BUILDING A-1 FIRST FLOOR
SCALE: 1/8"=1'-0"

2 BUILDING A-1 SECOND FLOOR
SCALE: 1/8"=1'-0"



3 BUILDING A-1 ROOF
SCALE: 1/8"=1'-0"

SHEET NOTES

1. REMOVE AND REPLACE EXISTING DS. WITH ALL NEW DS. GENERAL CONTRACTOR TO VERIFY LOCATION AND AMOUNT
2. INSTALL NEW SPLASH BLOCKS @ ALL DS. LOCATIONS. GENERAL CONTRACTOR TO VERIFY LOCATION AND AMOUNT
3. REPLACE ENTRY DECK FRAMING
4. REMOVE AND REPLACE ALL ATTIC VENT SCREENS
5. REMOVE AND REPLACE ALL EXTERIOR SIDING, WINDOWS, BUILDING-MOUNTED LIGHTS.
6. FOR CONDITIONS WHERE EXISTING DIRT CAN'T BE RE-GRADED AWAY FROM BUILDING, CUT BACK EXISTING POST AND ADD NEW CONC. PEDESTAL TO RAISE BASE OF POST A MIN. OF 6" ABOVE GRADE.
7. SEE SHEET AD2.1, AD2.2 AND AD2.3 FOR DEMO INFORMATION



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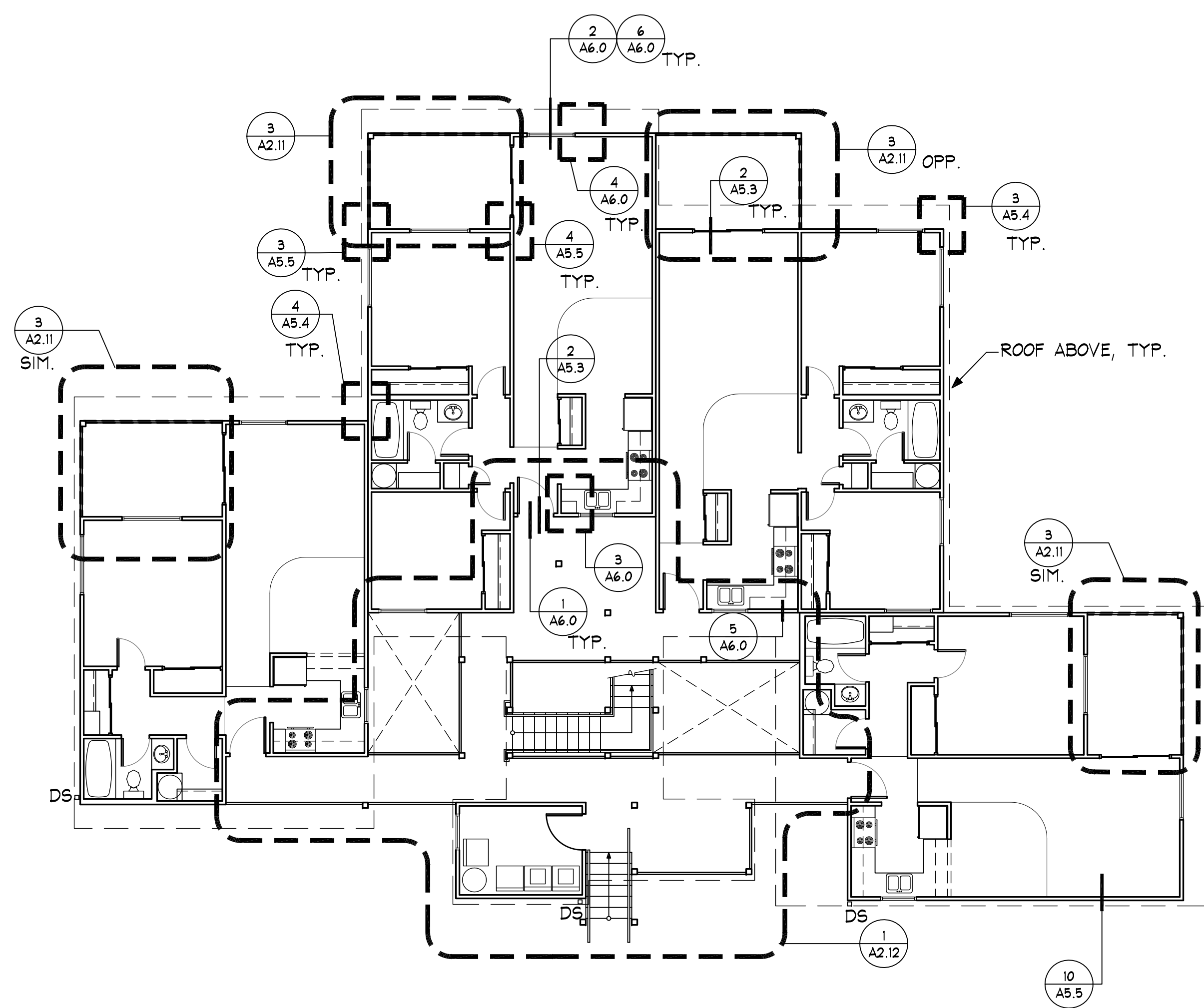
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BUILDING A-1
FLOOR PLAN

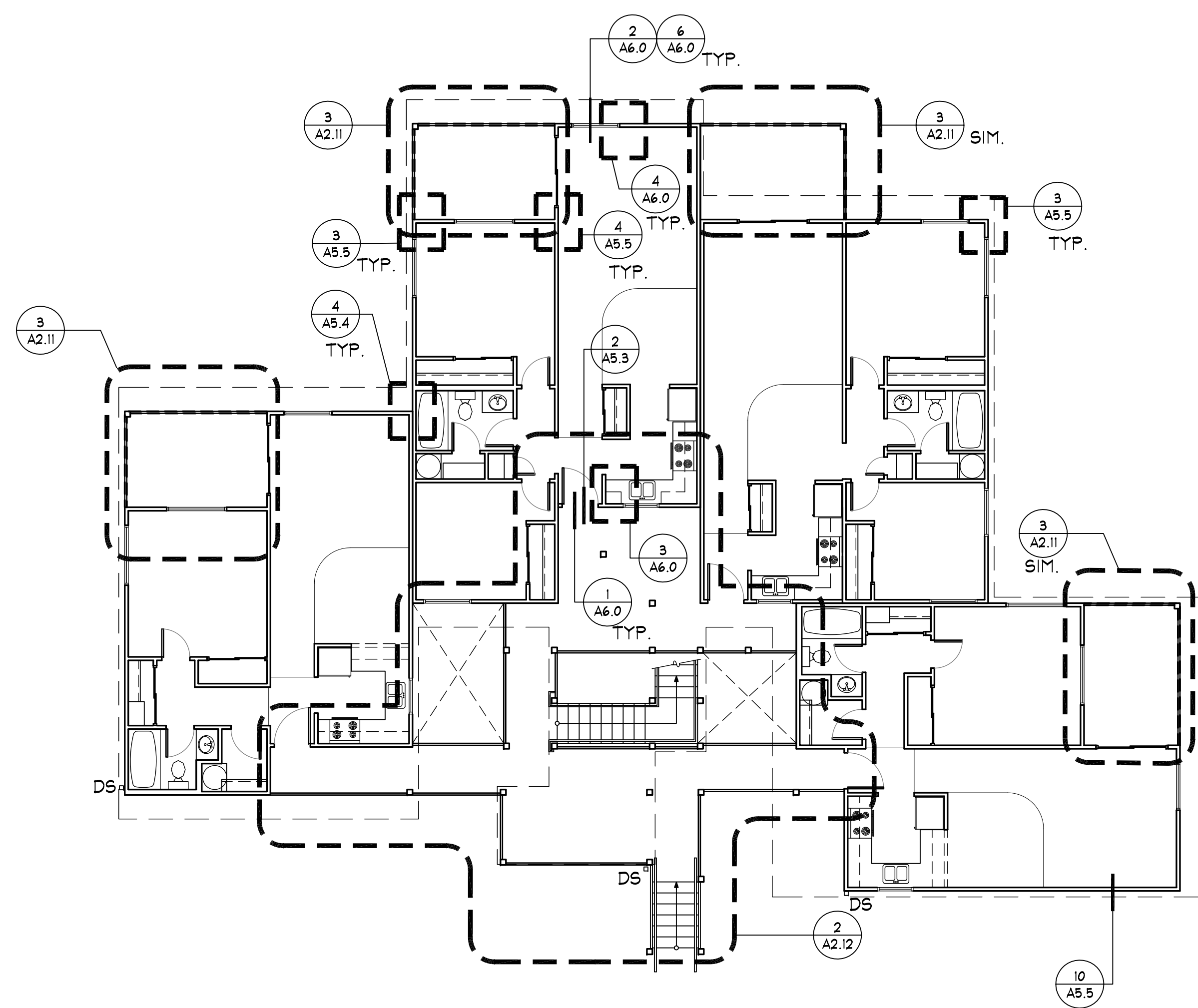
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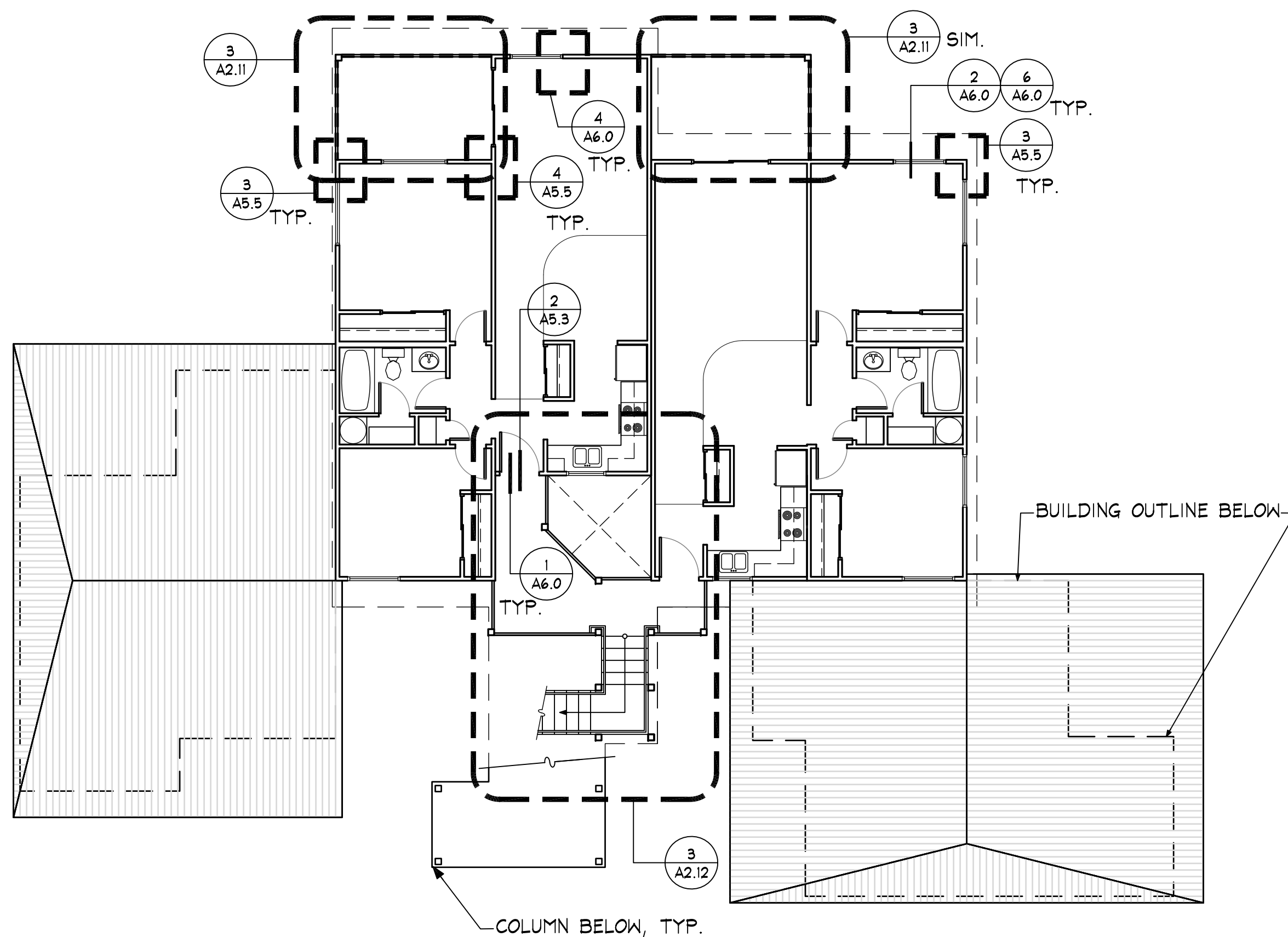
A2.1



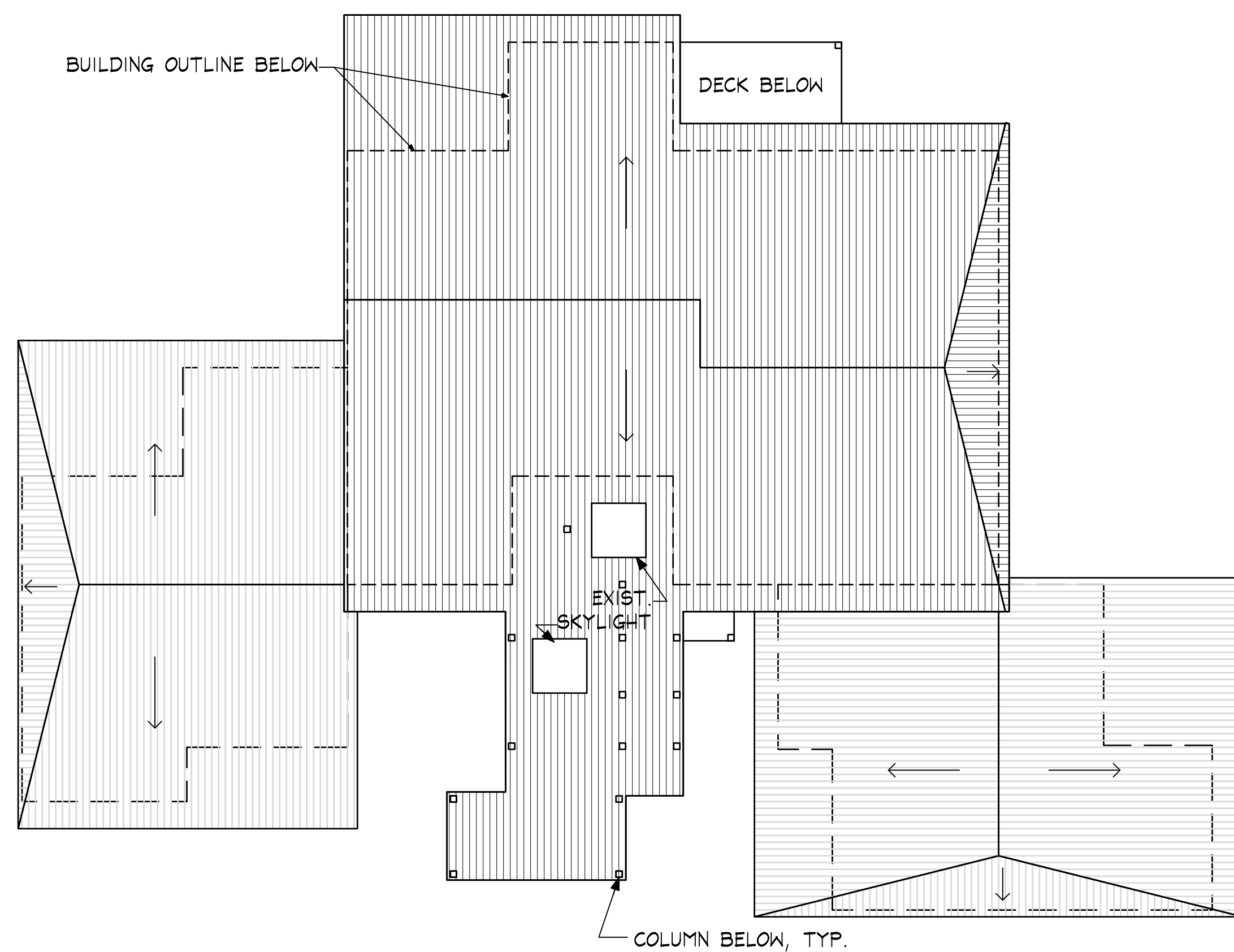
1 BUILDING A-2 FIRST FLOOR
SCALE: 1/8"=1'-0"



2 BUILDING A-3 FIRST FLOOR
SCALE: 1/8"=1'-0"



3 BUILDING A-3 SECOND FLOOR (A-2 SIM. EXCEPT AT ENTRY PORCH ROOF)
SCALE: 1/8"=1'-0"



4 BUILDING A-3 ROOF PLAN (A-2 SIM. EXCEPT AT ENTRY PORCH ROOF)
SCALE: 1/8"=1'-0"

SHEET NOTES

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4. REMOVE AND REPLACE ALL ATTIC VENT SCREENS
5. REMOVE AND REPLACE ALL EXTERIOR SIDING, WINDOWS, BUILDING-MOUNTED LIGHTS.
6. FOR CONDITIONS WHERE EXISTING DIRT CAN'T BE RE-GRADED AWAY FROM BUILDING, CUT BACK EXISTING POST AND ADD NEW CONC. PEDESTAL TO RAISE BASE OF POST A MIN. OF 6" ABOVE GRADE.
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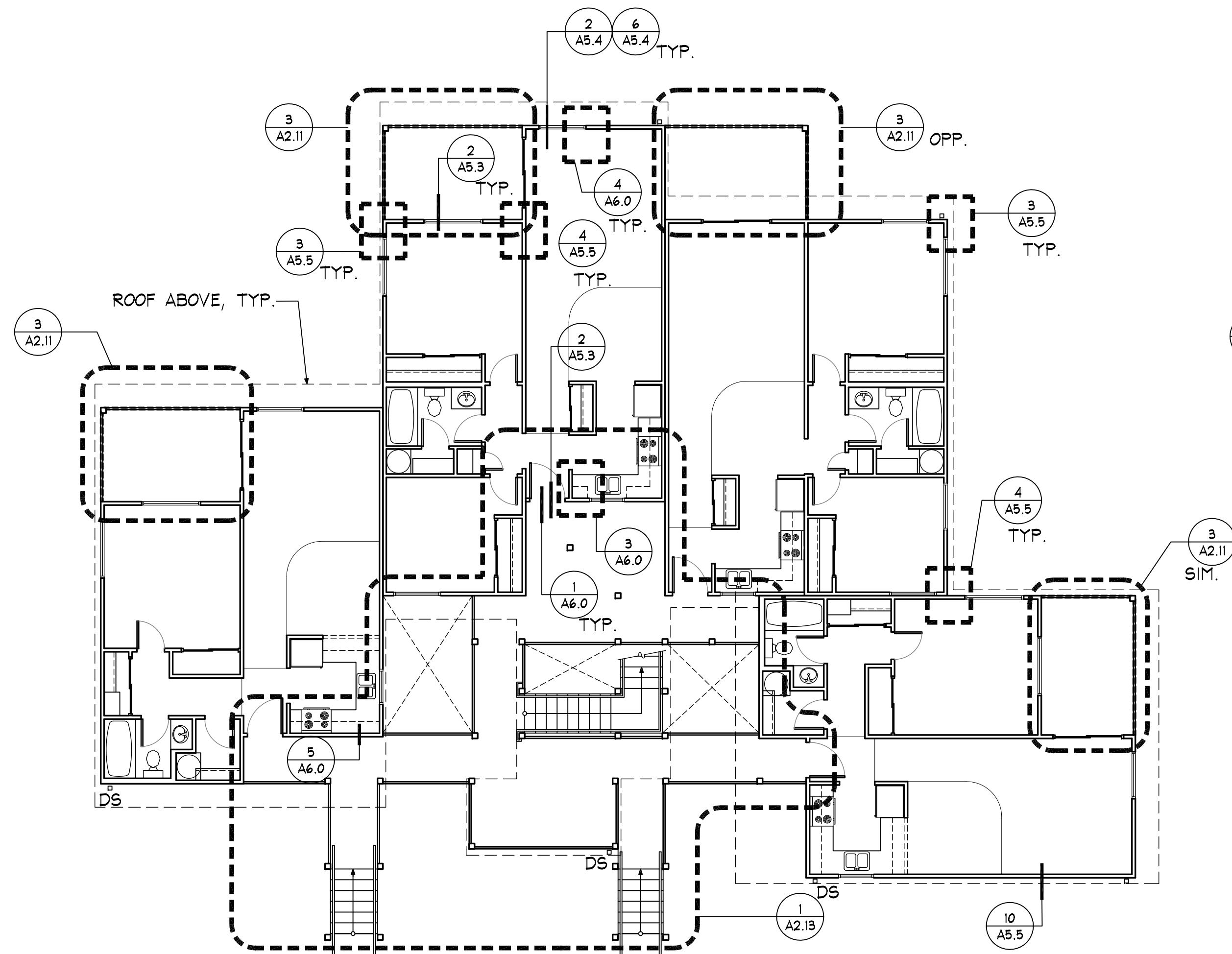
BUILDING A-2 & A-3
FLOOR PLANS

PROJ NO.
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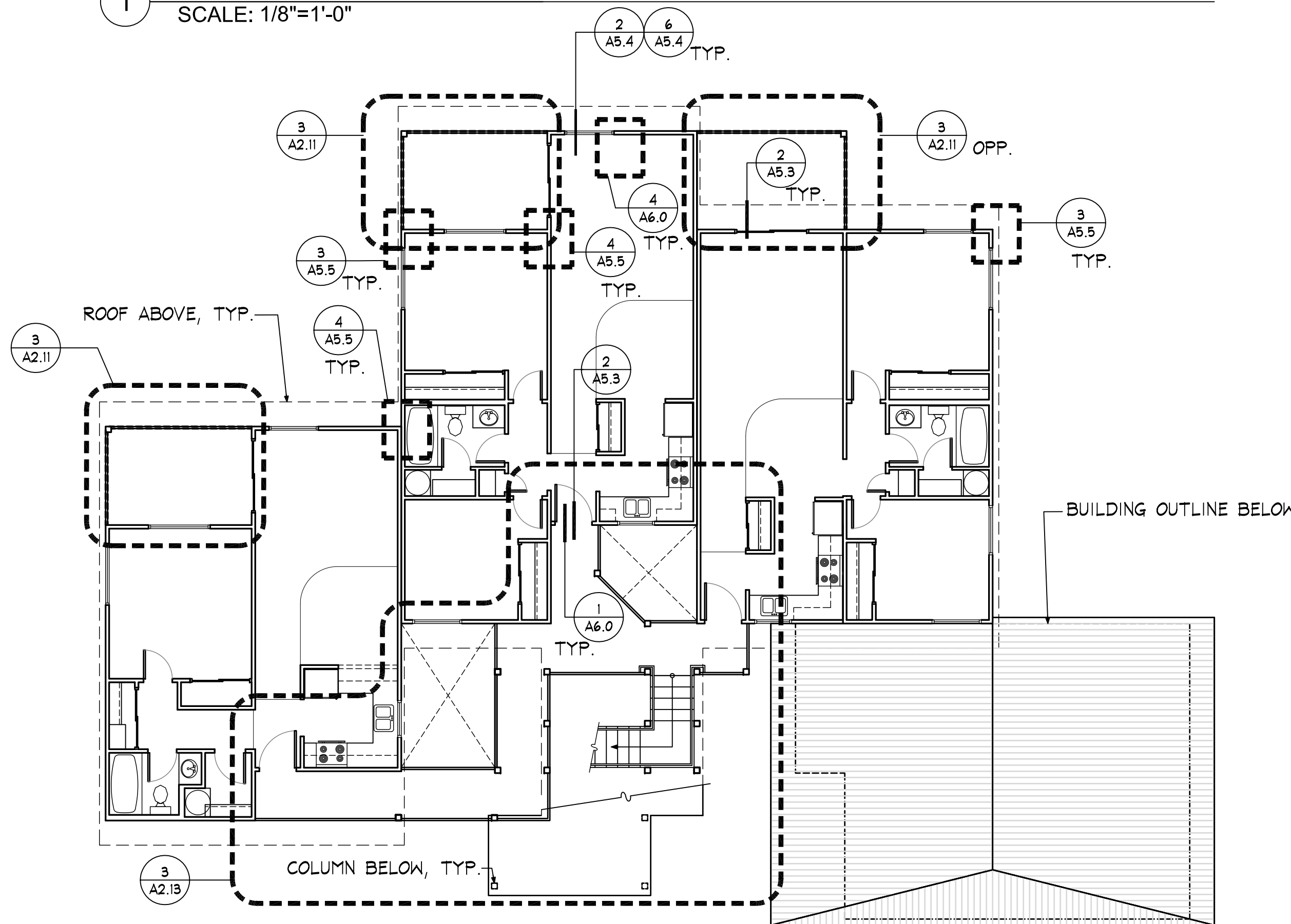
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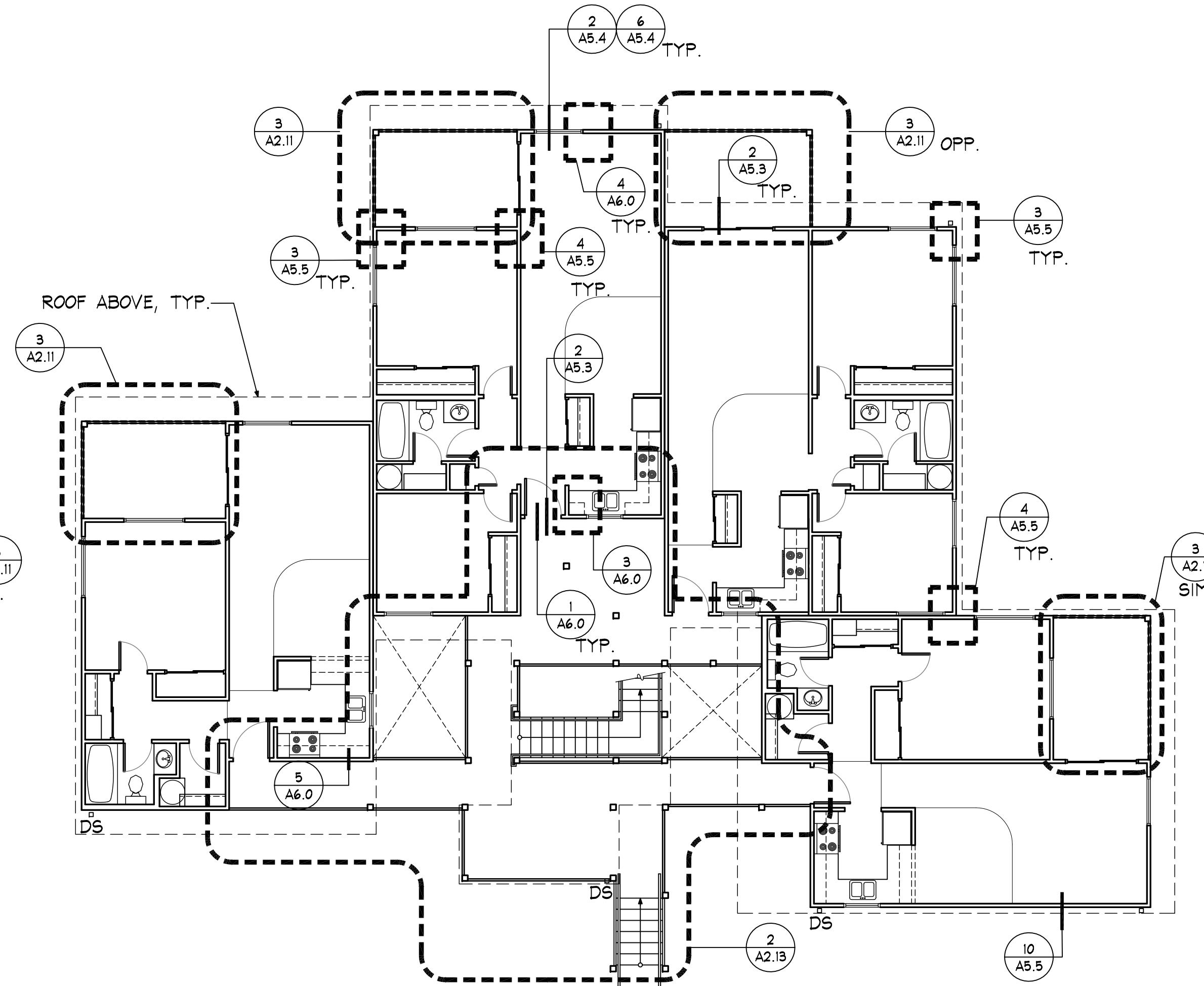
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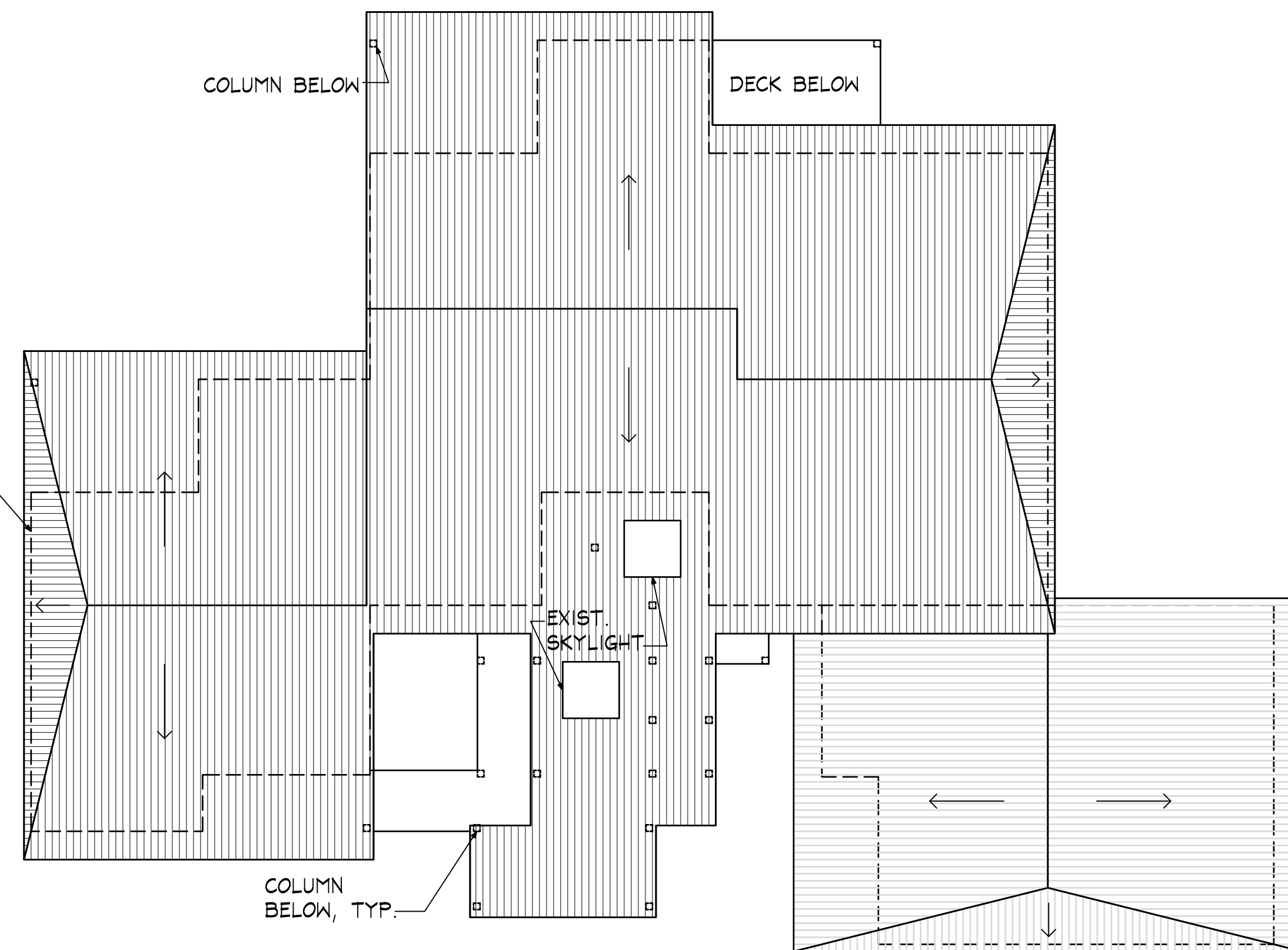
1 BUILDING B-1 FIRST FLOOR
SCALE: 1/8"=1'-0"



3 BUILDING B-1 & B-2 SECOND FLOOR
SCALE: 1/8"=1'-0"



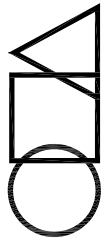
2 BUILDING B-2 FIRST FLOOR
SCALE: 1/8"=1'-0"



4 BUILDING B-2 & B-3 ROOF PLAN
SCALE: 1/8"=1'-0"

SHEET NOTES

1. REMOVE AND REPLACE EXISTING DS. WITH ALL NEW DS. GENERAL CONTRACTOR TO VERIFY LOCATION AND AMOUNT
2. INSTALL NEW SPLASH BLOCKS @ ALL DS. LOCATIONS. GENERAL CONTRACTOR TO VERIFY LOCATION AND AMOUNT
3. REPLACE ENTRY DECK FRAMING
4. REMOVE AND REPLACE ALL ATTIC VENT SCREENS
5. REMOVE AND REPLACE ALL EXTERIOR SIDING, WINDOWS, BUILDING-MOUNTED LIGHTS.
6. FOR CONDITIONS WHERE EXISTING DIRT CAN'T BE RE-GRADED AWAY FROM BUILDING, CUT BACK EXISTING POST AND ADD NEW CONC. PEDESTAL TO RAISE BASE OF POST A MIN. OF 6" ABOVE GRADE.
7. SEE SHEET AD2.1, AD2.2 AND AD2.3 FOR DEMO INFORMATION



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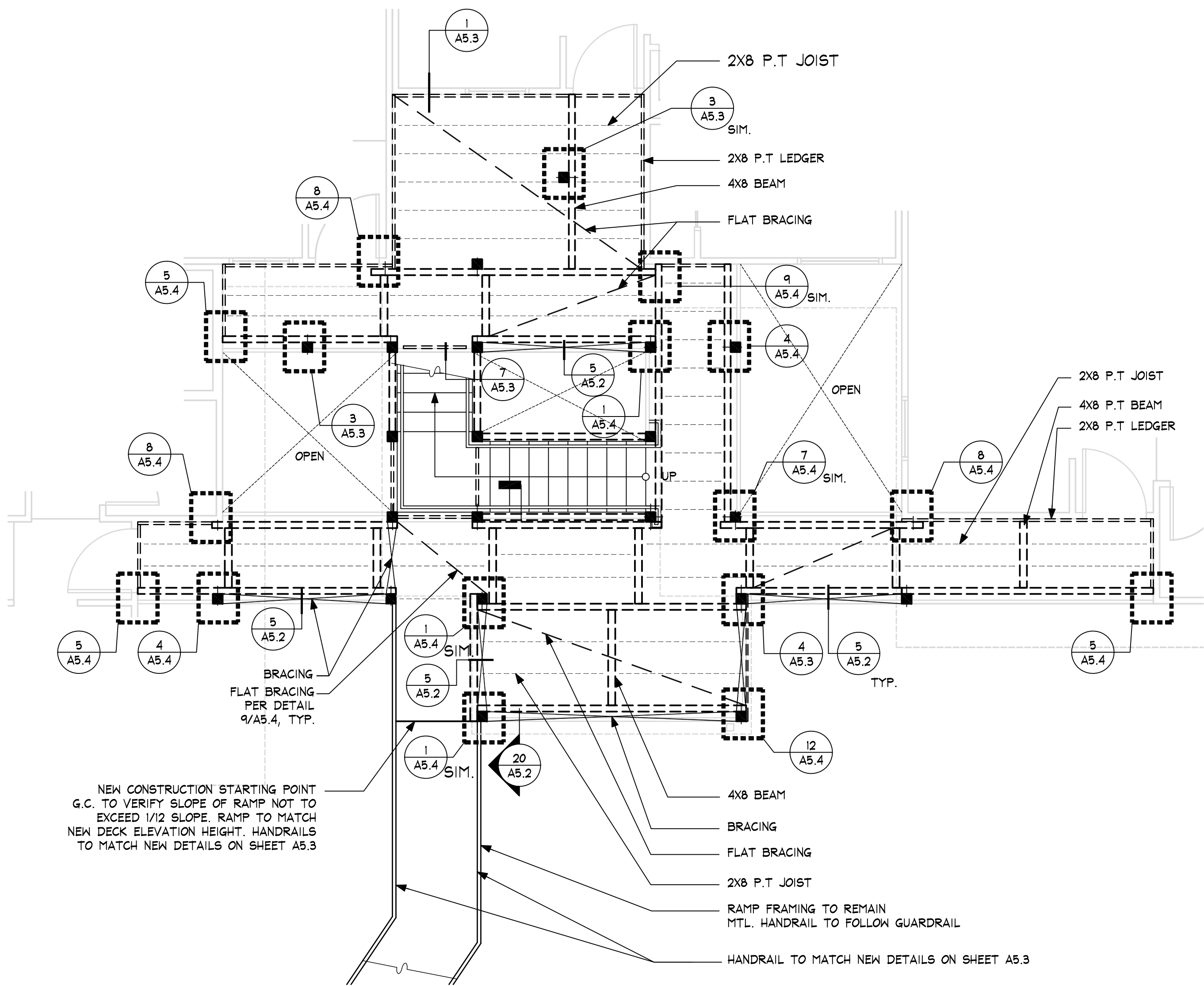
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BUILDING B-1 & B-2
FLOOR PLANS

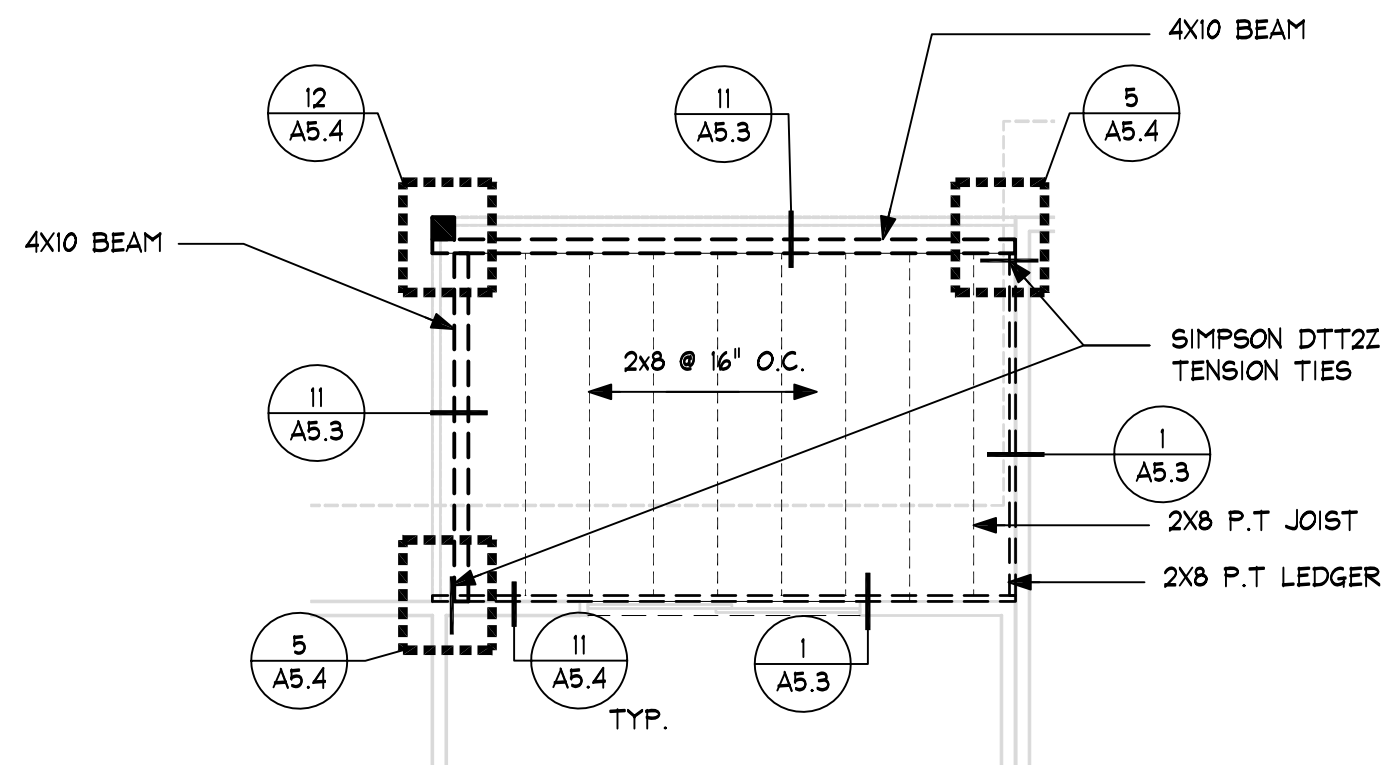
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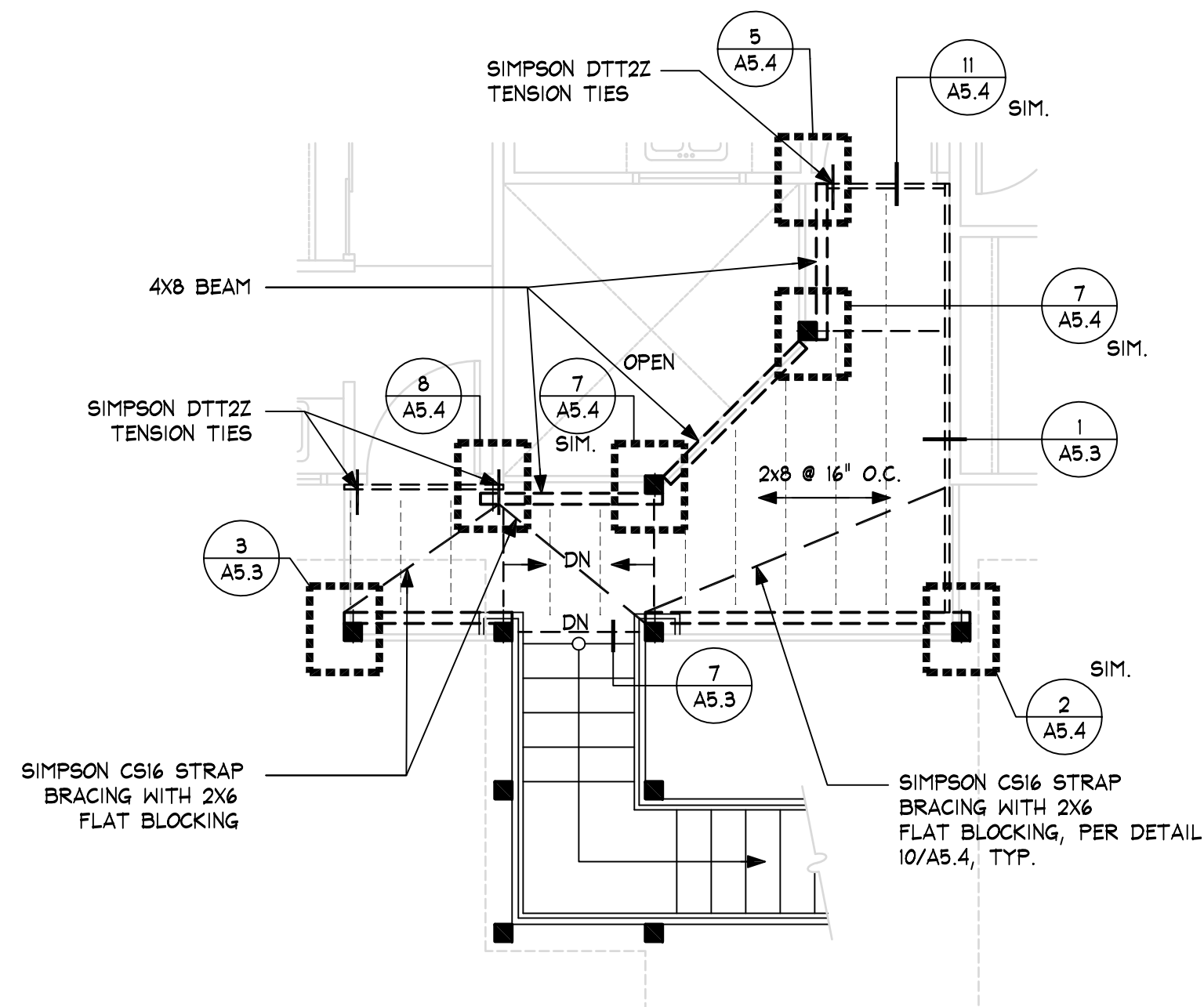
A2.3



1 BUILDING A-1 FIRST FLOOR FRAMING PLAN- TYP.
SCALE: 1/4"=1'-0"



3 TYP. PRIVATE DECK FRAMING PLAN
SCALE: 1/4"=1'-0"



2 BUILDING A-1 SECOND FLOOR FRAMING PLAN- TYP.
SCALE: 1/4"=1'-0"

SHEET NOTES

- LEDGER: 2X8 P.T
- JOIST: 2X8 P.T @ 16" O.C. W/ LUS26 HANGERS. USE LUC26Z AT CONCEALED FLANGE CONDITION
- BEAM: 4X8 P.T WITH HUC48 (HDG) HANGERS WHERE APPLICABLE
- COLUMNS: 6X6 P.T
- 2X8 FRAMING NOT TO SPAN MORE THAN 10'-0" - TYP.
- X BRACING: SEE DETAIL 5/A5.2
- FLAT BRACING: SEE DETAIL 9/A5.4 AND 10/A5.4
- STRINGERS TO ALIGN WITH INSIDE OF COLUMNS. DO NOT NOTCH CONCRETE TREADS. G.C. TO VERIFY PRIOR TO CONSTRUCTION
- ALL DECKS TO BE RAISED TO UNDERSIDE OF THRESHOLD. REFER TO DETAIL 2/A5.3. G.C. TO VERIFY STAIR LOCATION WITH REGARD TO STAIR RISERS, HANDRAILS AND GUARDRAIL HEIGHT
- DECK BOARDS TO EXTEND 1" OVER BEAM OR JOIST. NOTCH 1/2" GAP AROUND COLUMNS AND POST, TYP.
- ALL HANDRAILS TO CONTINUE 24" PAST THE LAST RISER. HANDRAIL TO BE LAPPED AND TURN BACK TOWARD GARDRAIL

LEGEND:

- 6X6 P.T COLUMNS
- BRACING
- 2X4 FLAT BRACING



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SANDHILL APARTMENTS REHABILITATION
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150 S. WAHANNA ROAD, SEASIDE, OREGON

PERMIT SET

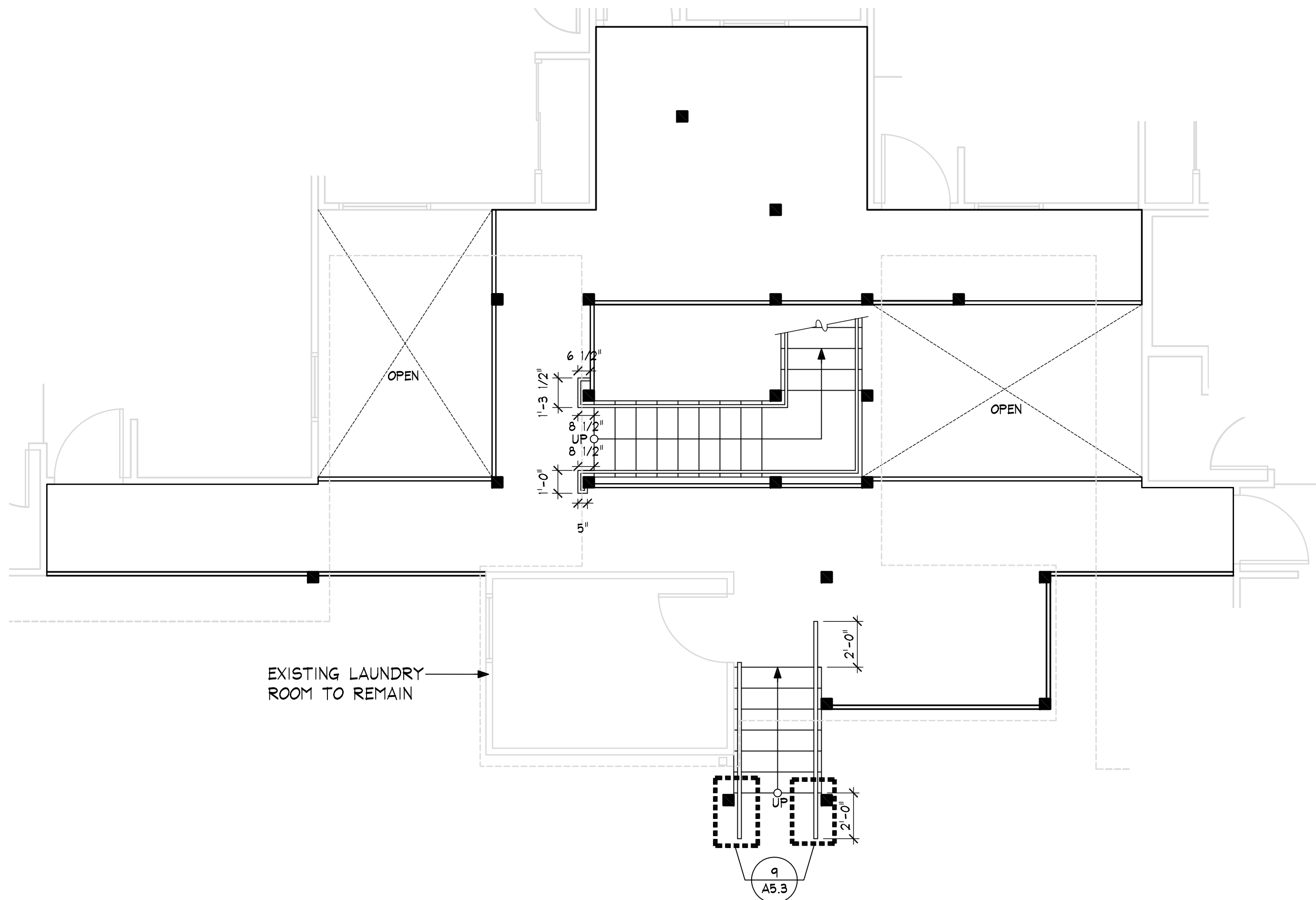
BUILDING A-1
FRAMING PLAN

PROJ NO.
20802

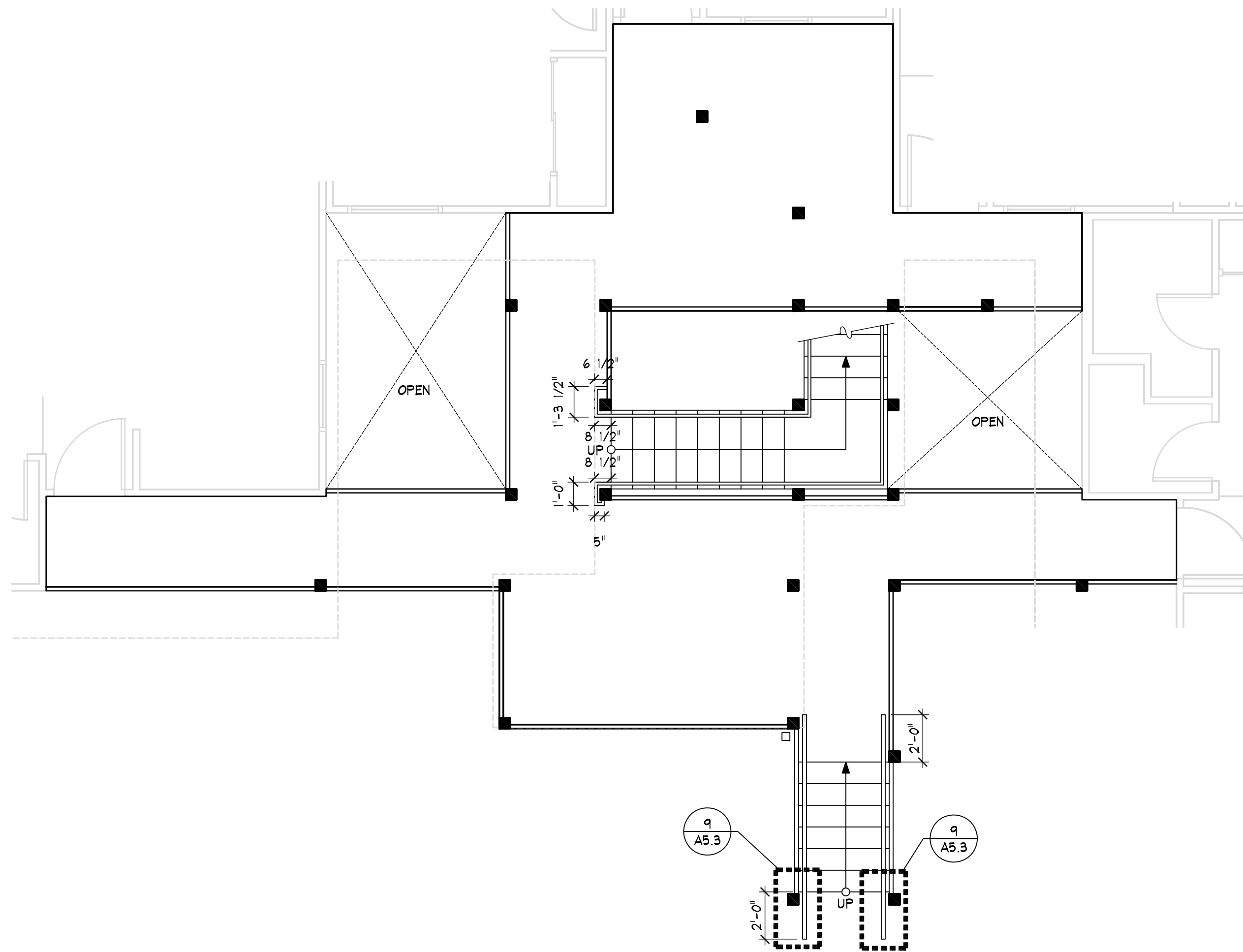
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A2.11

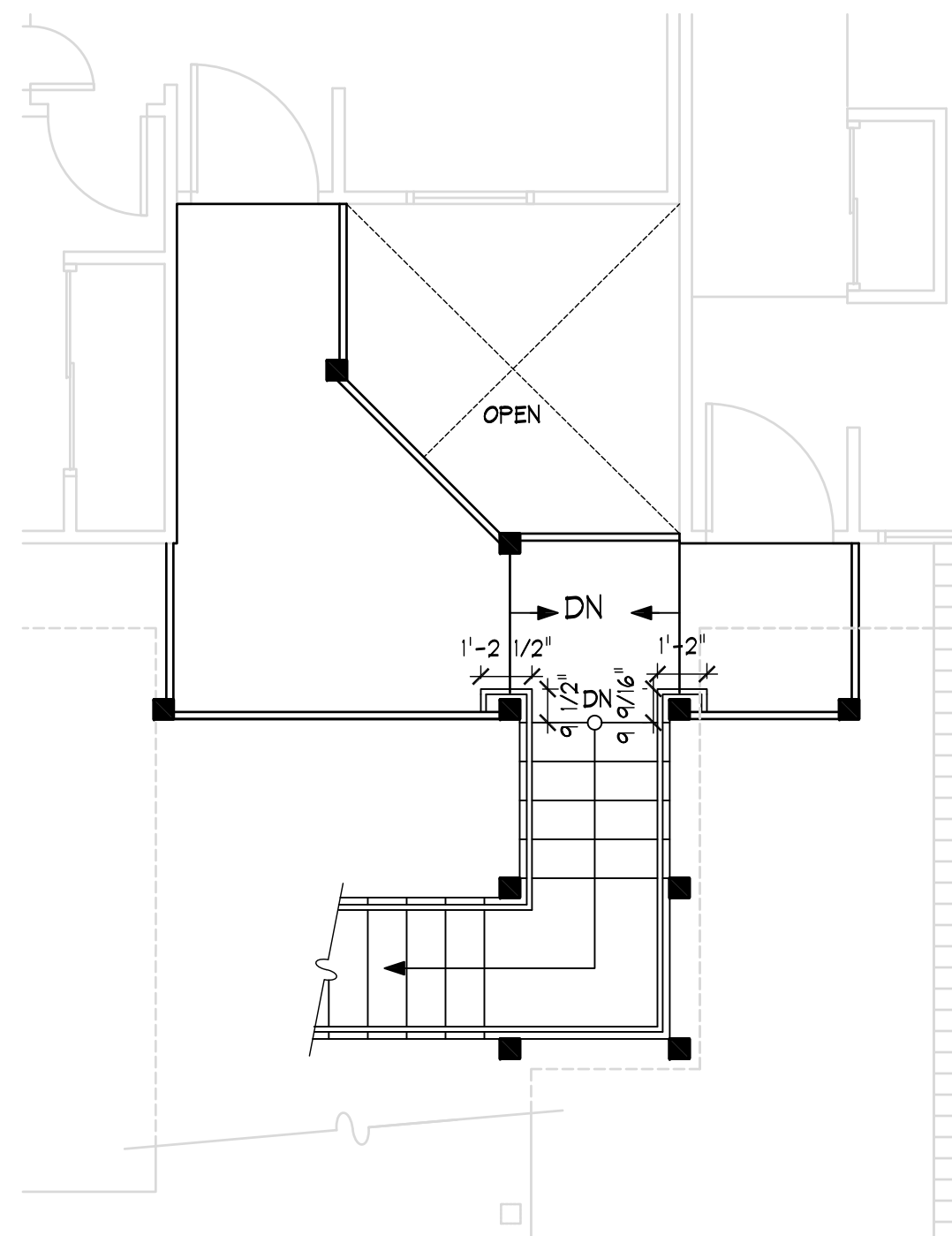
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1 BUILDING A-2 FIRST FLOOR FRAMING PLAN- (REFER TO 1/A2.13 FOR TYP. FRAMING PLAN)
SCALE: 1/4"=1'-0"



2 BUILDING A-3 FIRST FLOOR FRAMING PLAN- (REFER TO 1/A2.13 FOR TYP. FRAMING PLAN)
SCALE: 1/4"=1'-0"



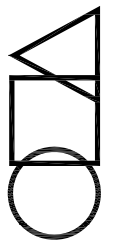
3 BUILDING A-3 SECOND FLOOR FRAMING PLAN- (REFER TO 1/A2.11 FOR TYP. FRAMING PLAN)
SCALE: 1/4"=1'-0"

SHEET NOTES

1. LEDGER: 2X8 P.T
2. JOIST: 2X8 P.T @ 16" O.C. W/ LUS26 HANGERS. USE LUC26Z AT CONCEALED FLANGE CONDITION
3. BEAM: 4X8 P.T WITH HUC48 (HDG) HANGERS WHERE APPLICABLE
4. COLUMNS: 6X6 P.T
5. 2X8 FRAMING NOT TO SPAN MORE THAN 10'-0" - TYP.
6. X BRACING: SEE DETAIL 5/A5.2
7. FLAT BRACING: SEE DETAIL 9/A5.4 AND 10/A5.4
8. STRINGERS TO ALIGN WITH INSIDE OF COLUMNS. DO NOT NOTCH CONCRETE TREADS. G.C. TO VERIFY PRIOR TO CONSTRUCTION
9. ALL DECKS TO BE RAISED TO UNDERSIDE OF THRESHOLD. REFER TO DETAIL 2/A5.3. G.C. TO VERIFY STAIR LOCATION WITH REGARD TO STAIR RISERS, HANDRAILS AND GUARDRAIL HEIGHT
10. DECK BOARDS TO EXTEND 1" OVER BEAM OR JOIST. NOTCH 1/2" GAP AROUND COLUMNS AND POST, TYP.
11. ALL HANDRAILS TO CONTINUE 24" PAST THE LAST RISER. HANDRAIL TO BE LAPPED AND TURN BACK TOWARD GUARDRAIL

LEGEND:

- 6X6 P.T COLUMNS
- — — 2X4 FLAT BRACING
- — — BRACING



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BUILDING A-2 & A-3
FRAMING PLAN

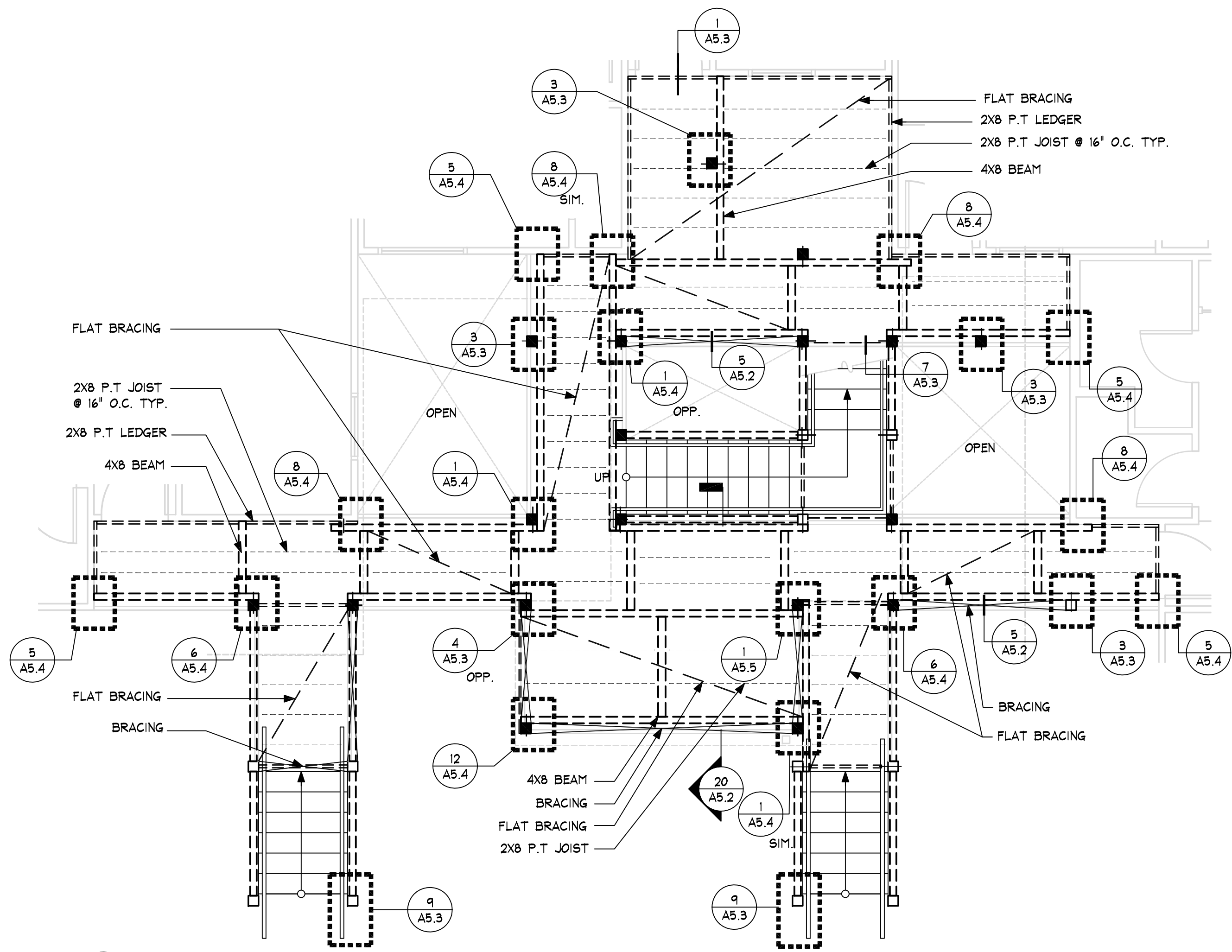
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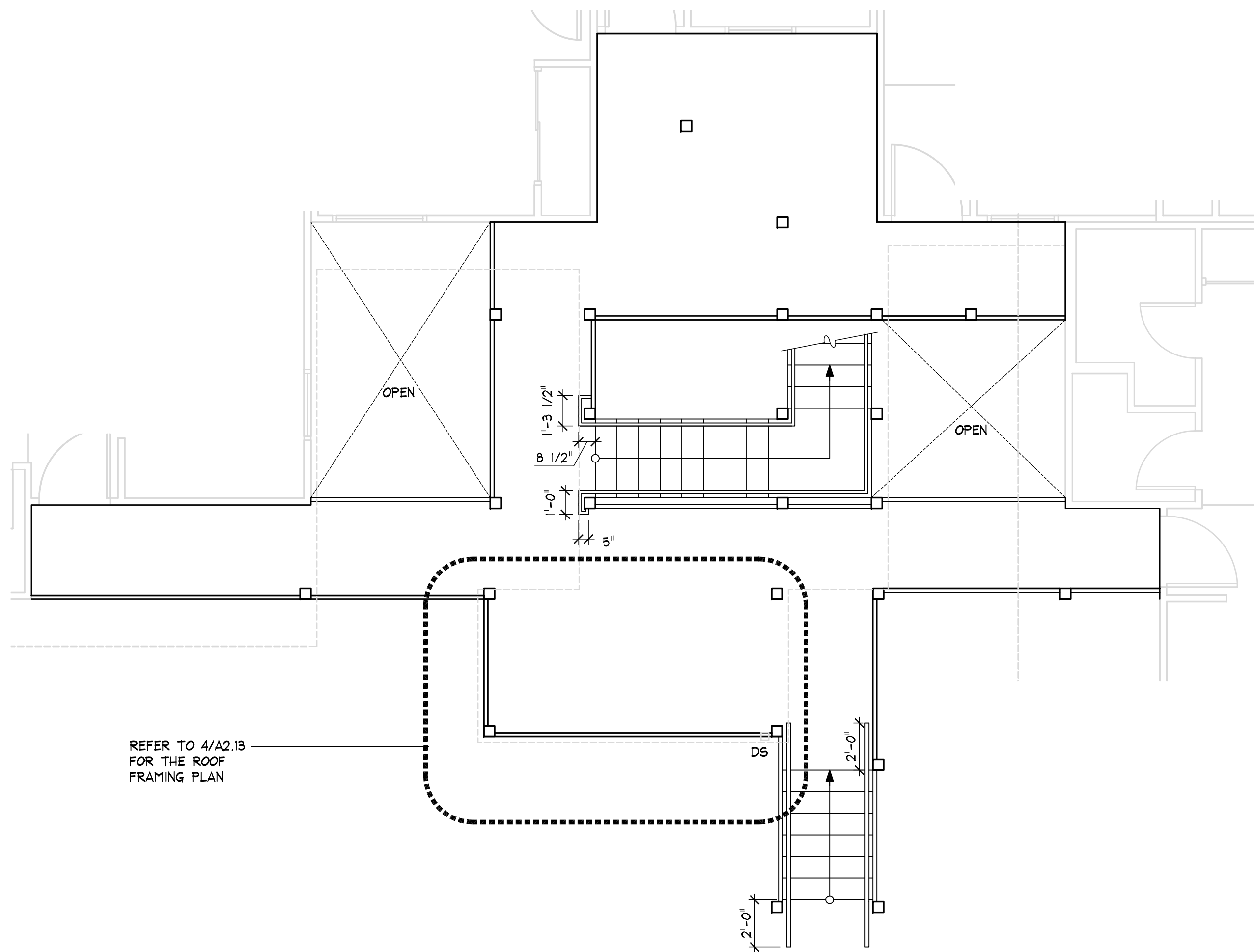
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A2.12

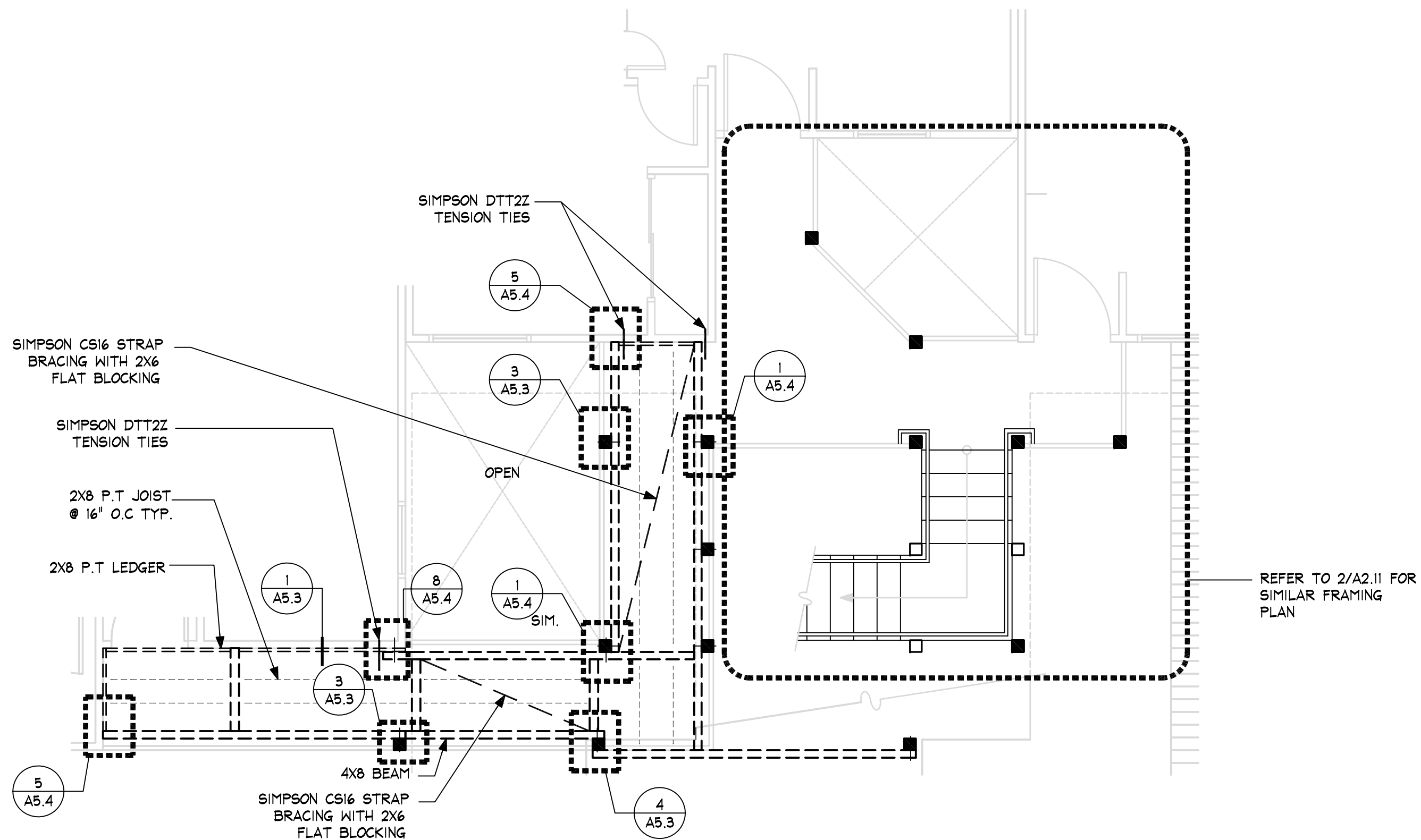
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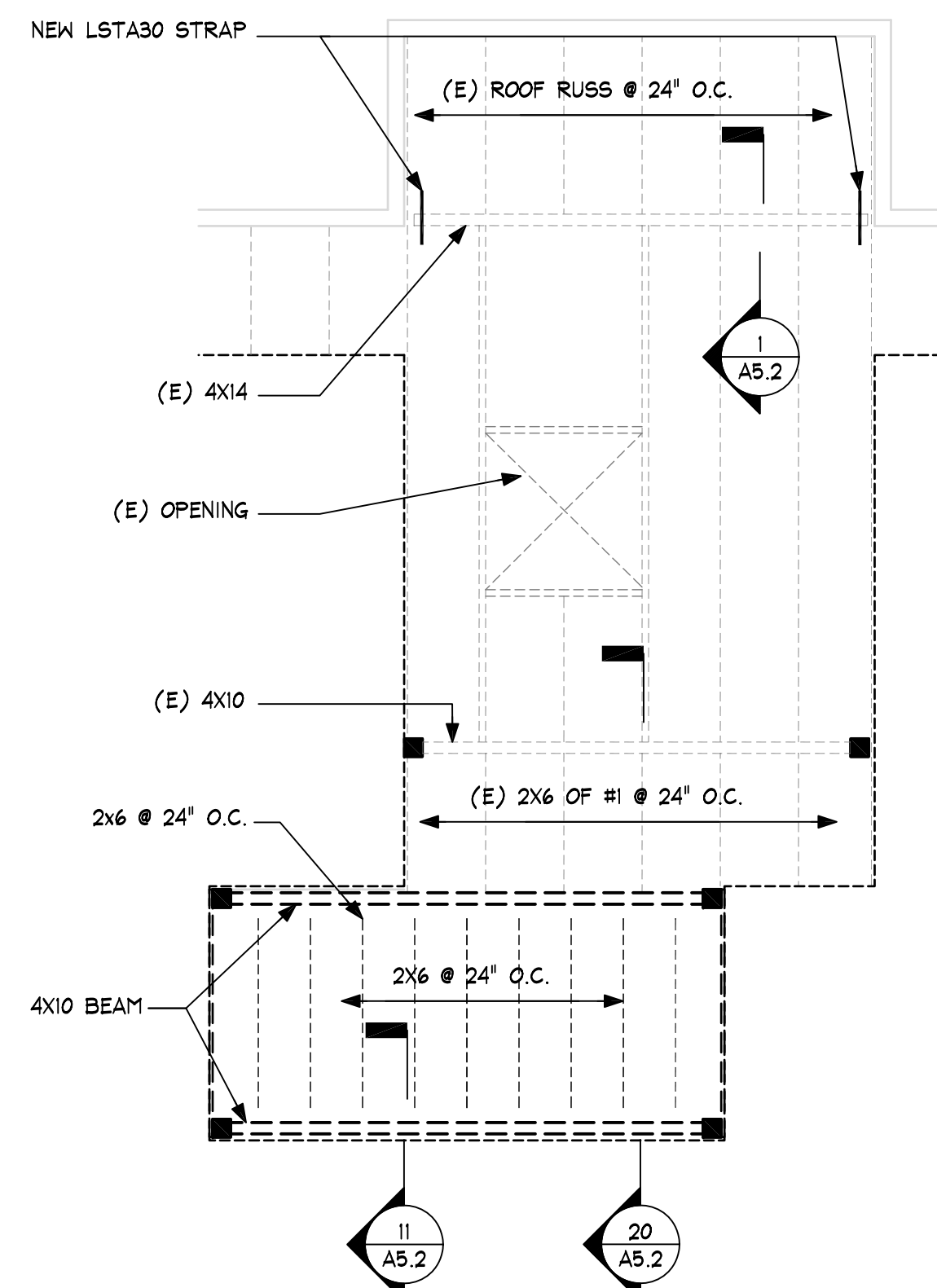
1 BUILDING B-1 FIRST FLOOR - FRAMING PLAN - TYP.
SCALE: 1/4"=1'-0"



2 BUILDING B-2 FIRST FLOOR - FRAMING PLAN - (REFER TO 1/A2.13 FOR TYP. FRAMING PLAN)
SCALE: 1/4"=1'-0"



3 BUILDING B-1 & B-2 SECOND FLOOR - FRAMING PLAN
SCALE: 1/4"=1'-0"



4 FRONT PORCH - ROOF FRAMING PLAN- TYP.
SCALE: 1/4"=1'-0"

SHEET NOTES

1. LEDGER: 2X8 P.T.
2. JOIST: 2X8 P.T @ 16" O.C. W/ LUS26 HANGERS. USE LUC26Z AT CONCEALED FLANGE CONDITION
3. BEAM: 4X8 P.T WITH HUC48 (HDG) HANGERS WHERE APPLICABLE
4. COLUMNS: 6X6 P.T
5. 2X8 FRAMING NOT TO SPAN MORE THAN 10'-0" - TYP.
6. X BRACING: SEE DETAIL 5/A5.2
7. FLAT BRACING: SEE DETAIL 9/A5.4 AND 10/A5.4
8. STRINGERS TO ALIGN WITH INSIDE OF COLUMNS. DO NOT NOTCH CONCRETE TREADS. G.C. TO VERIFY PRIOR TO CONSTRUCTION
9. ALL DECKS TO BE RAISED TO UNDERSIDE OF THRESHOLD. REFER TO DETAIL 2/A5.3. G.C. TO VERIFY STAIR LOCATION WITH REGARD TO STAIR RISERS, HANDRAILS AND GUARDRAIL HEIGHT
10. DECK BOARDS TO EXTEND 1" OVER BEAM OR JOIST. NOTCH 1/2" GAP AROUND COLUMNS AND POST, TYP.
11. ALL HANDRAILS TO CONTINUE 24" PAST THE LAST RISER. HANDRAIL TO BE LAPPED AND TURN BACK TOWARD GUARDRAIL

LEGEND:

- 6X6 P.T COLUMNS
- — — BRACING
- - - 2X4 FLAT BRACING



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BUILDING B-1 & B-2
FRAMING PLAN

PROJ. NO.
20802

01.12.10

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A2.13

SHEET NOTES

1. REPLACED DAMAGED FASCIA BOARD @ ROOF AS NEEDED.
2. INSTALL NEW R-38 BLOWN-IN INSULATION @ ALL ATTICS.
3. INSTALL NEW ATTIC SCREENS @ ALL EXISTING LOCATIONS.
4. REPLACE BATT. INSULATION WHERE MISSING.
5. INSTALL NEW ROOF VENTING AS NEEDED.
6. INSTALL NEW LIGHTS @ ALL EXISTING BUILDING-MOUNTED EXTERIOR LIGHT LOCATIONS.
7. REPAIR EXTERIOR WALL FRAMING AS NEEDED.
8. REPAIR VENTS AT UNDER FLOOR SHEATHING AS NEEDED.
9. ADD VENTS AT UNDER FLOOR SHEATHING AS NEEDED.



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ELEVATIONS
AND WALL SECTIONS

PROJ NO.
20802

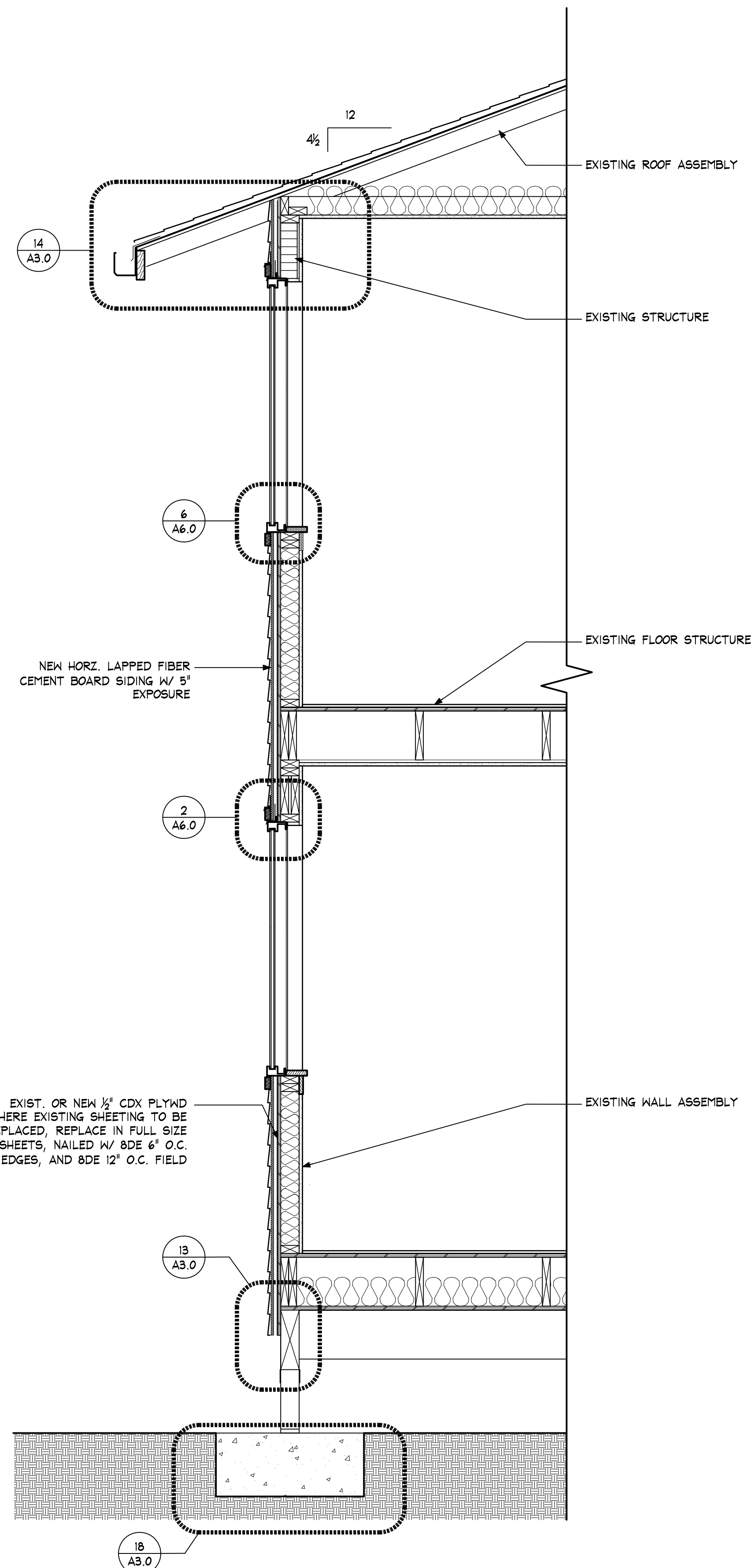
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2/01/10 ASI#1

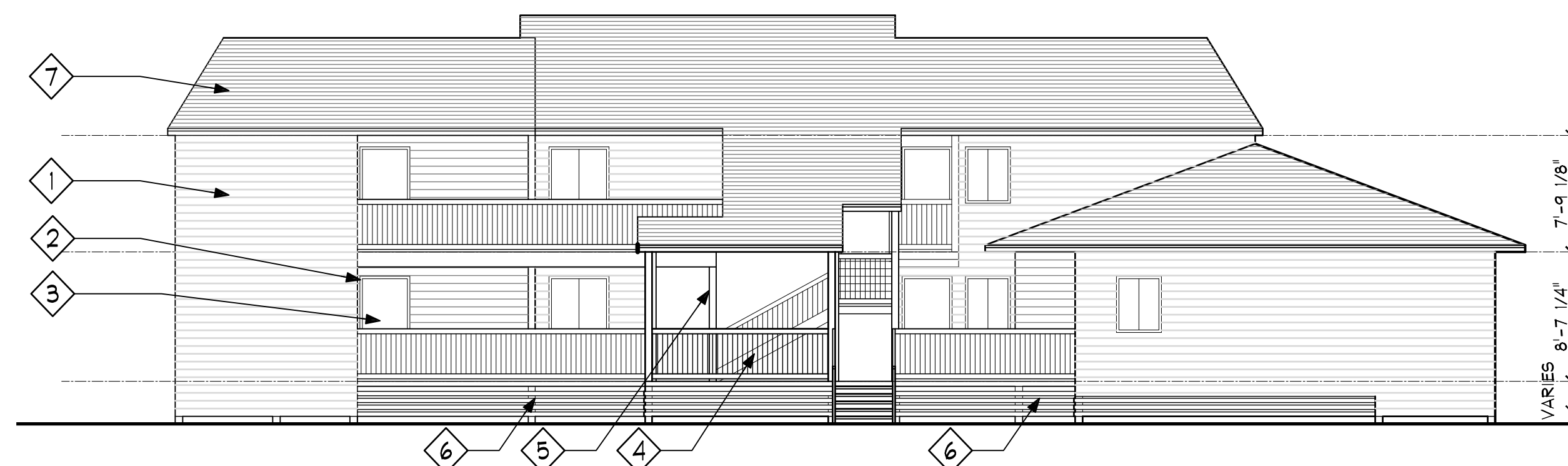
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KEY NOTES

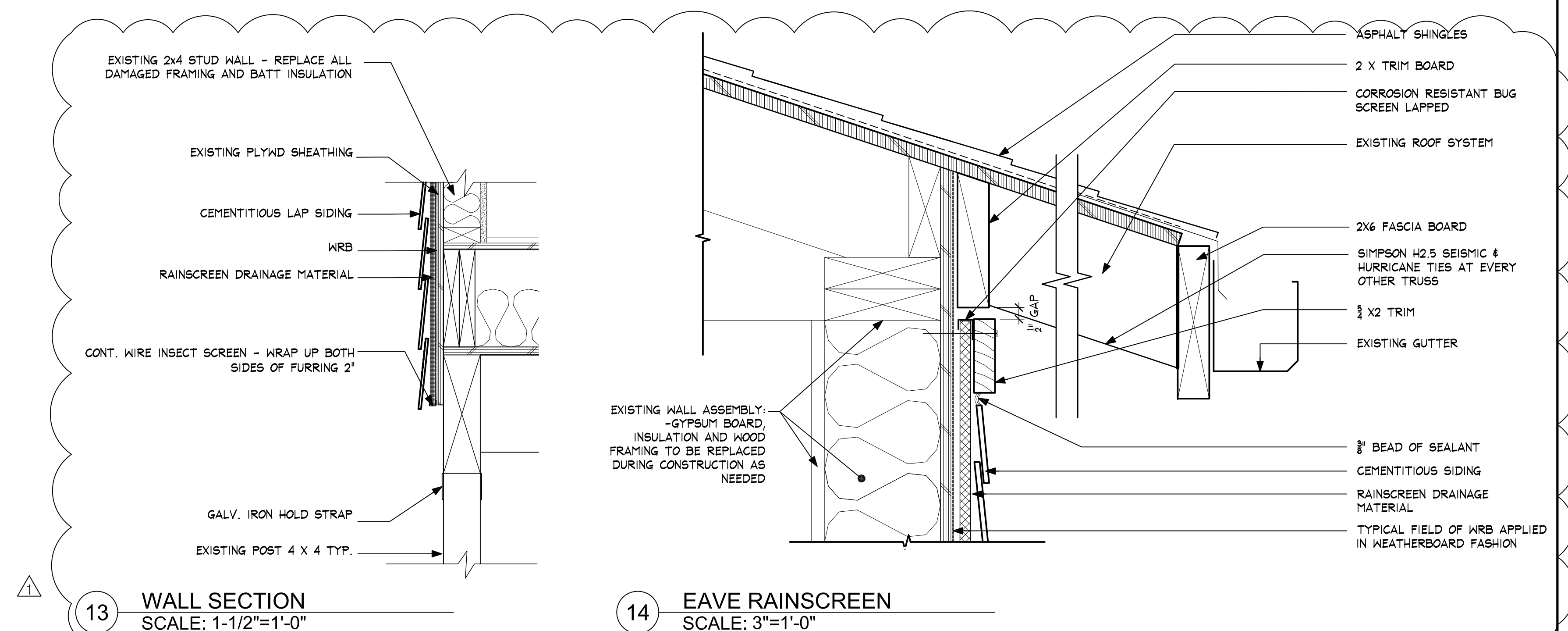
- 1 CEMENTITIOUS SIDING WITH 5" EXPOSURE G.C. TO NOTIFY THE ARCHITECT OF ANY DAMAGE TO (E) SHEATHING AND (E) INSULATION- REPLACE AS NEEDED
- 2 NEW HARDI TRIM.
- 3 NEW VINYL WINDOWS.
- 4 NEW PTD. WD. GUARDRAIL AND NEW DECKING (SEE BLDG. PLANS FOR MORE INFORMATION.)
- 5 NEW PTD. P.T. WD COLUMNS (SEE BLDG PLANS FOR MORE INFORMATION.)
- 6 NEW 1X4 CEDAR HORIZONTAL BD. SKIRTING @ ALL EXPOSED CRAWL SPACES. ELEVATIONS VARY AT EA. BUILDING - VERIFY IN FIELD.
- 7 EXISTING ROOF ASSEMBLY



16 WALL SECTION
SCALE: 3/4"=1'-0"

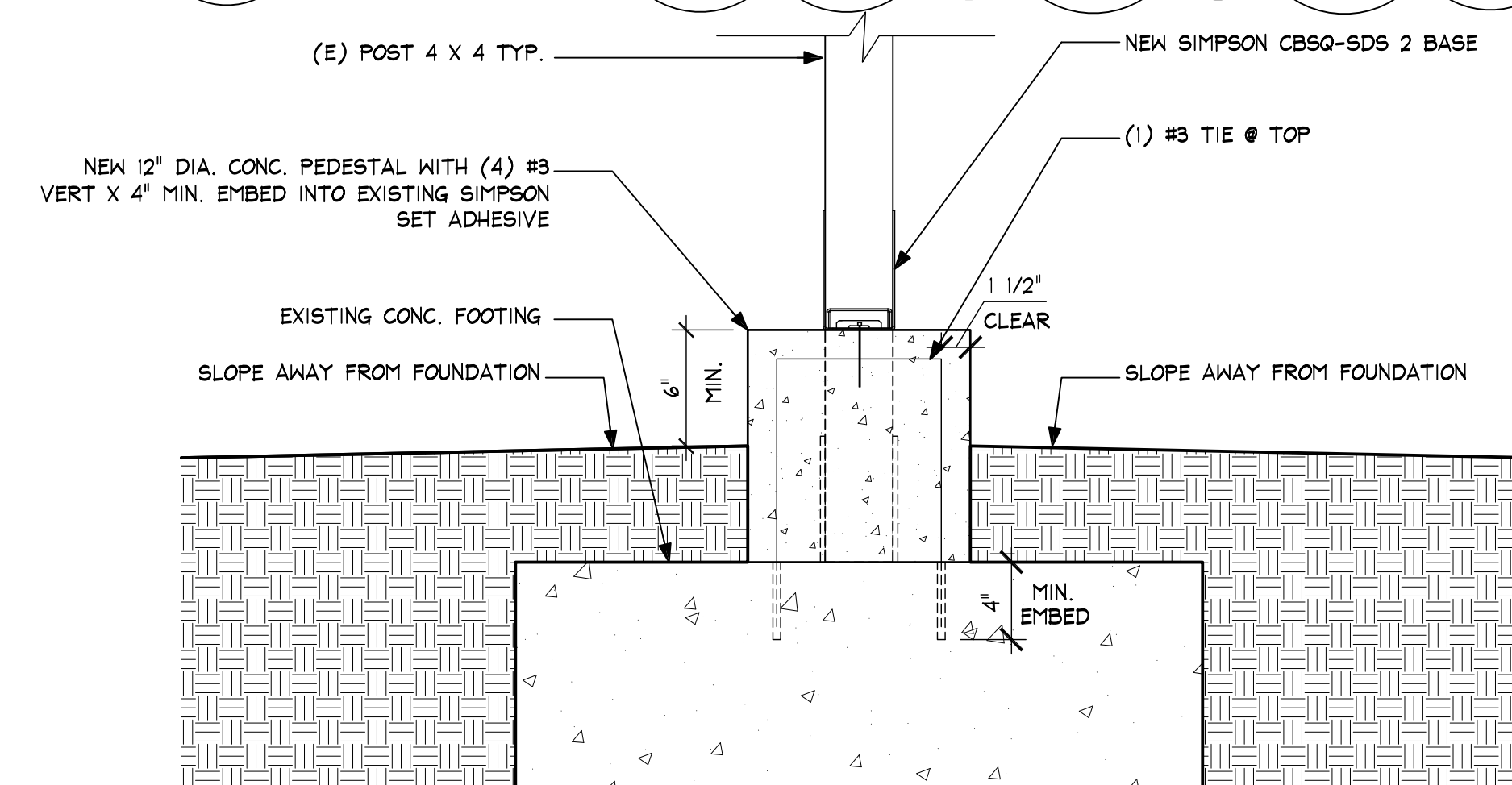


3 TYPICAL FRONT ELEVATION - BLDG B-2 (SEE PLANS FOR VARIATIONS)
SCALE: 1/8"=1'-0"

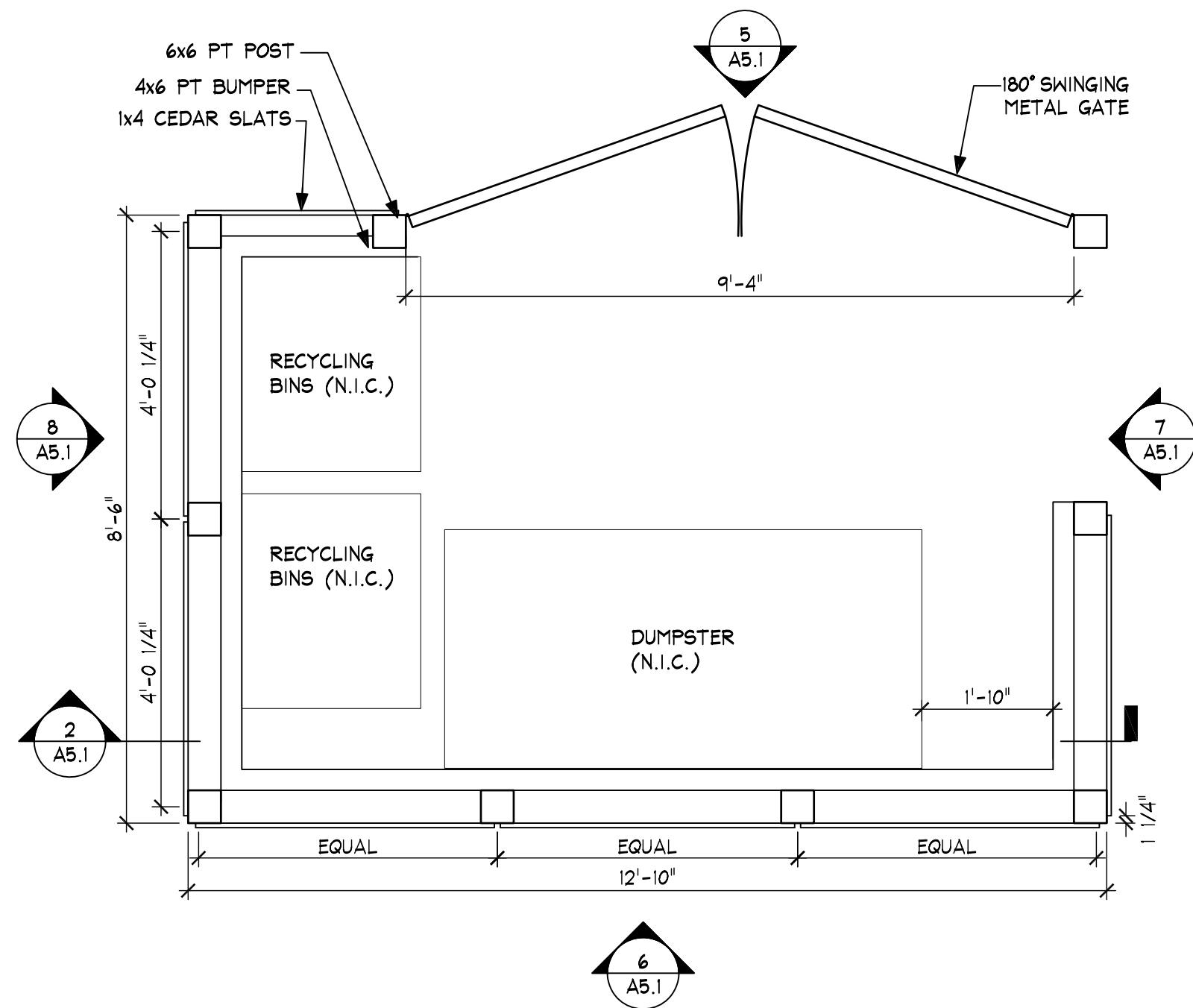


13 WALL SECTION
SCALE: 1-1/2"=1'-0"

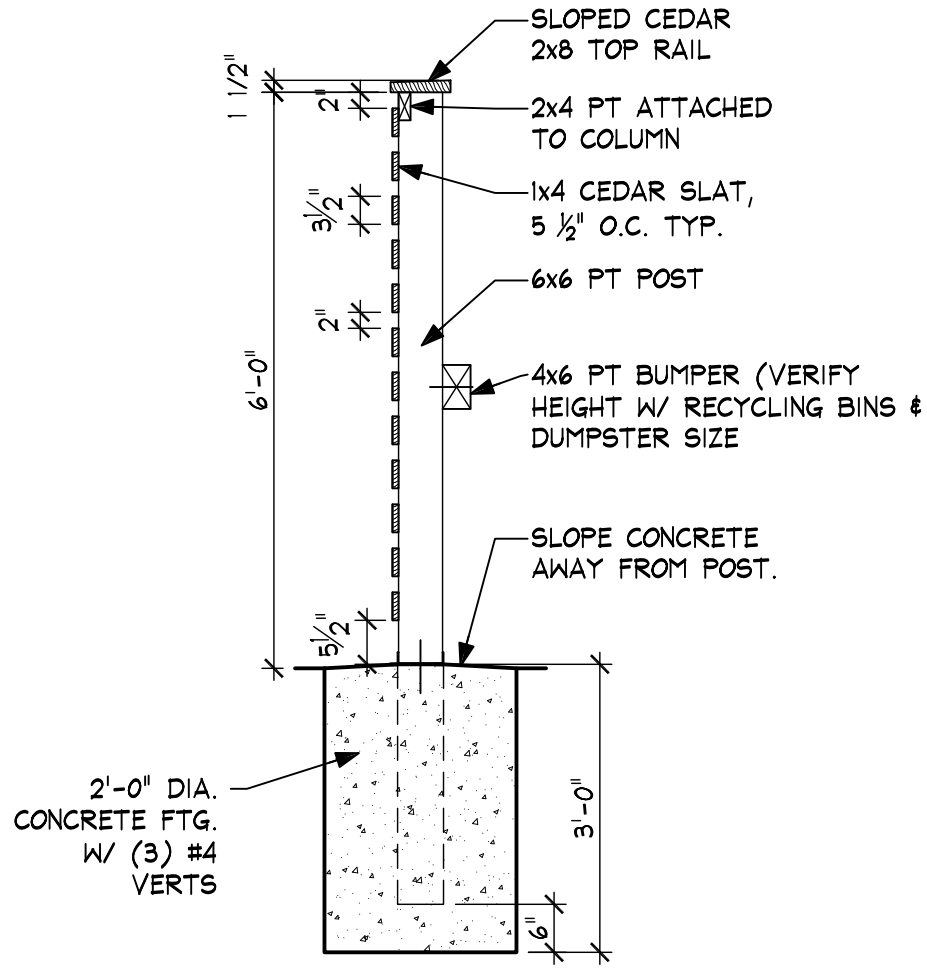
14 EAVE RAINSCREEN
SCALE: 3"=1'-0"



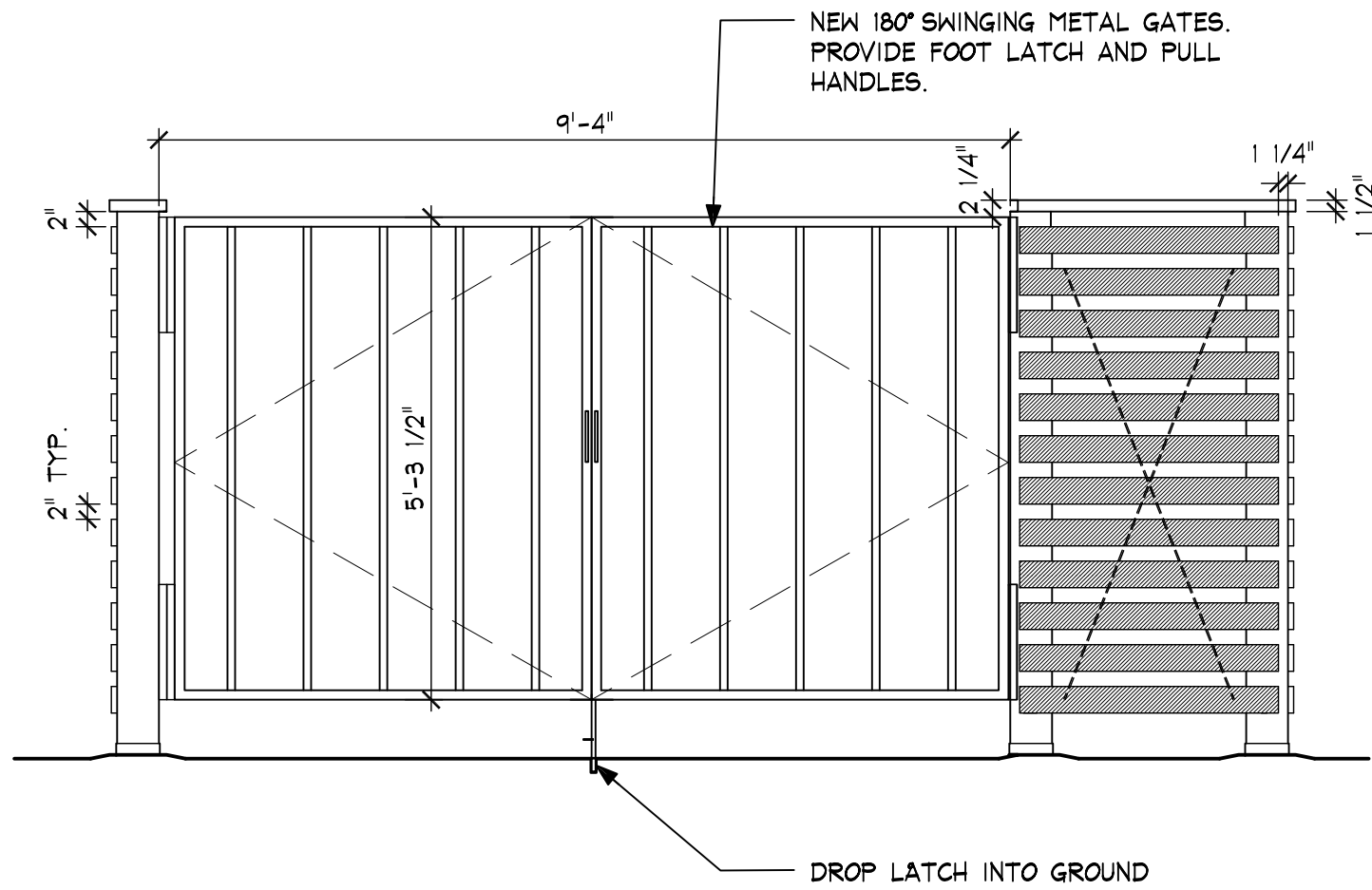
18 FOOTING AND FOUNDATION
SCALE: 1-1/2"=1'-0"



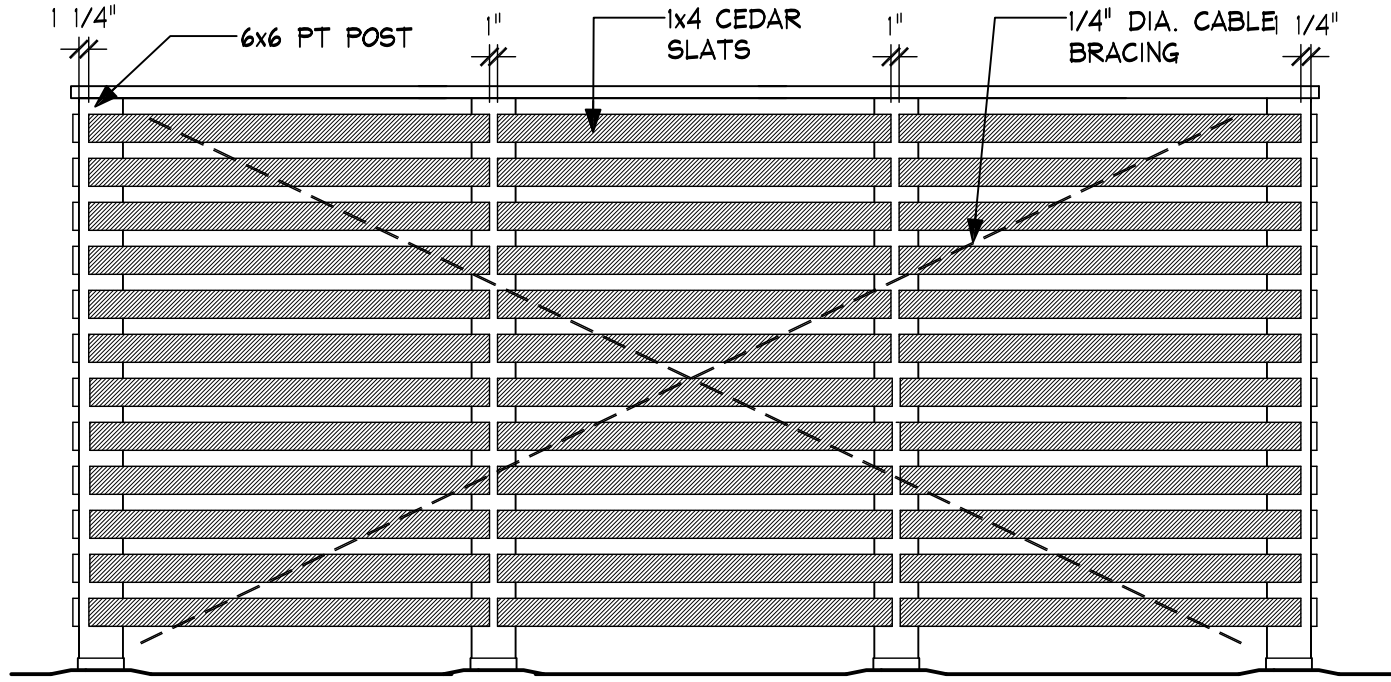
1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



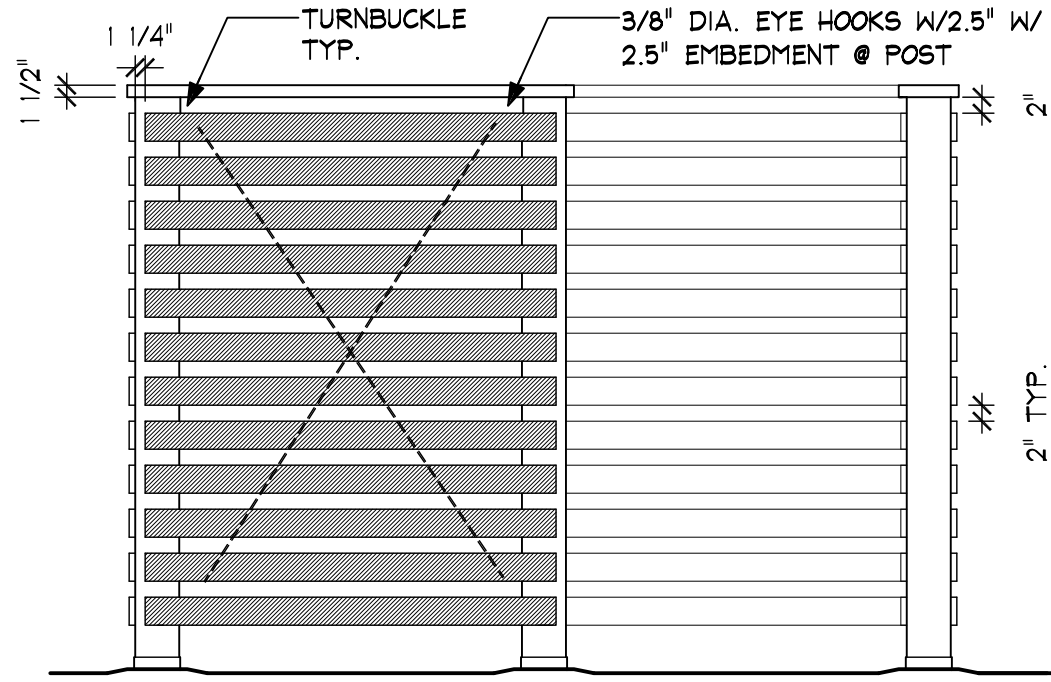
2 TRASH ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"



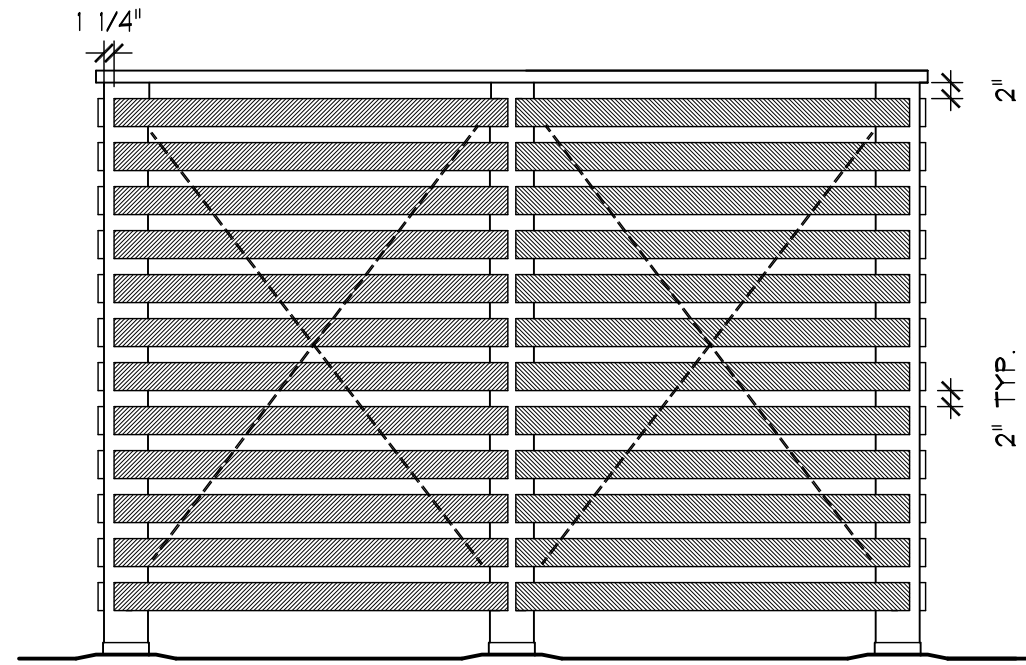
5 TRASH ENCLOSURE ELEVATION
SCALE: 1/2"=1'-0"



6 TRASH ENCLOSURE ELEVATION
SCALE: 1/2"=1'-0"



7 TRASH ENCLOSURE ELEVATION
SCALE: 1/2"=1'-0"



8 TRASH ENCLOSURE ELEVATION
SCALE: 1/2"=1'-0"



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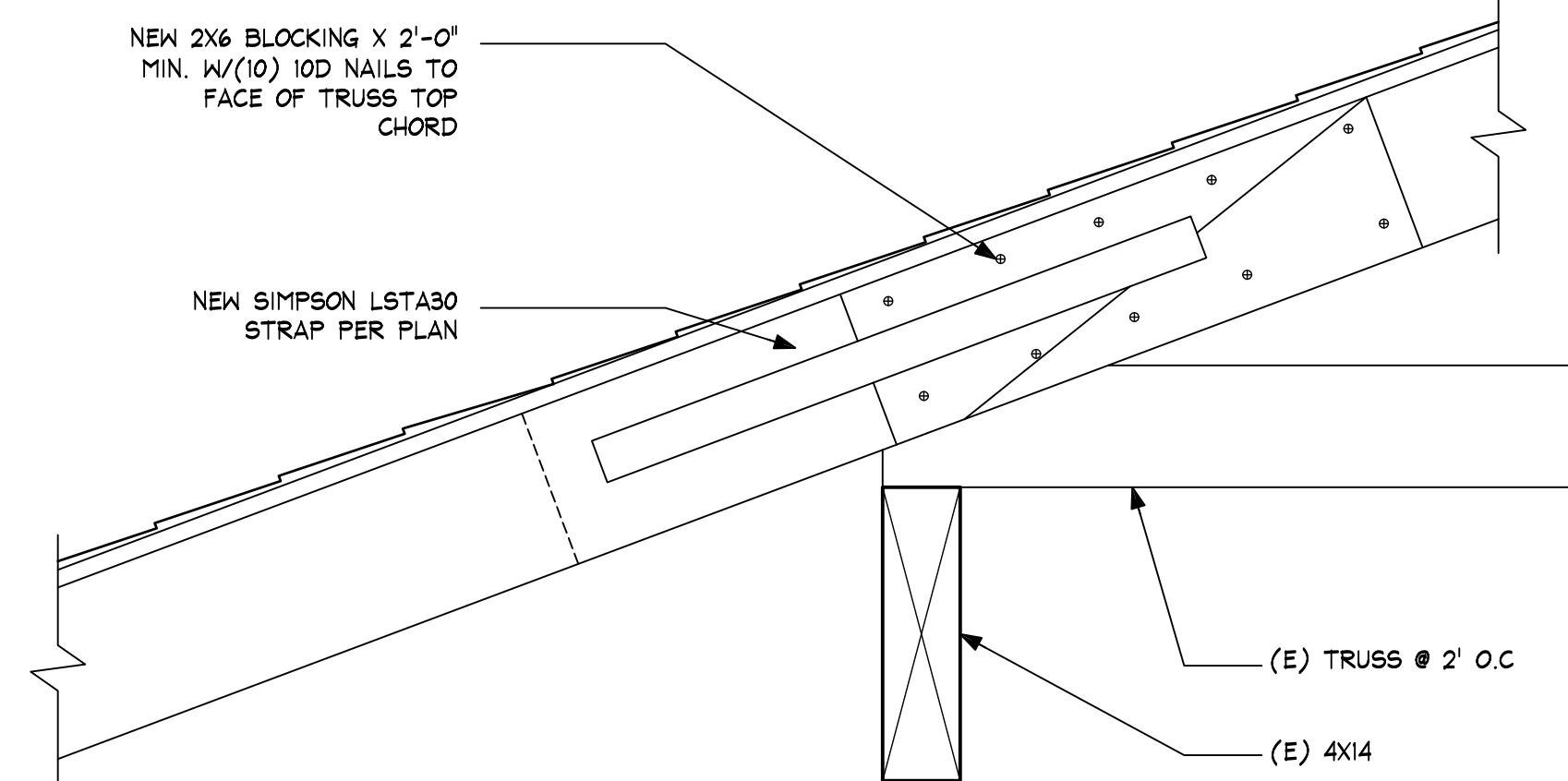
TRASH ENCLOUSER

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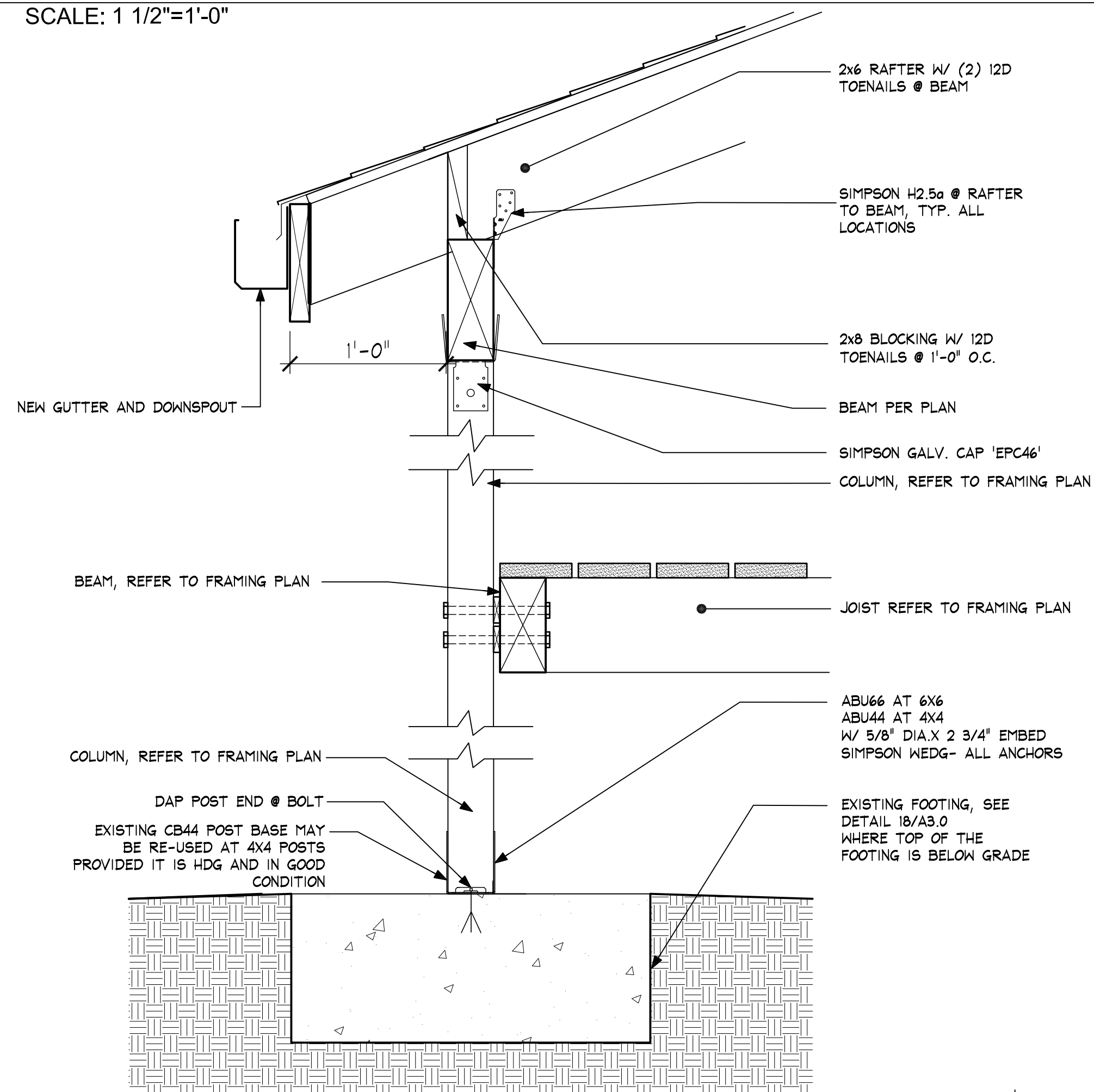
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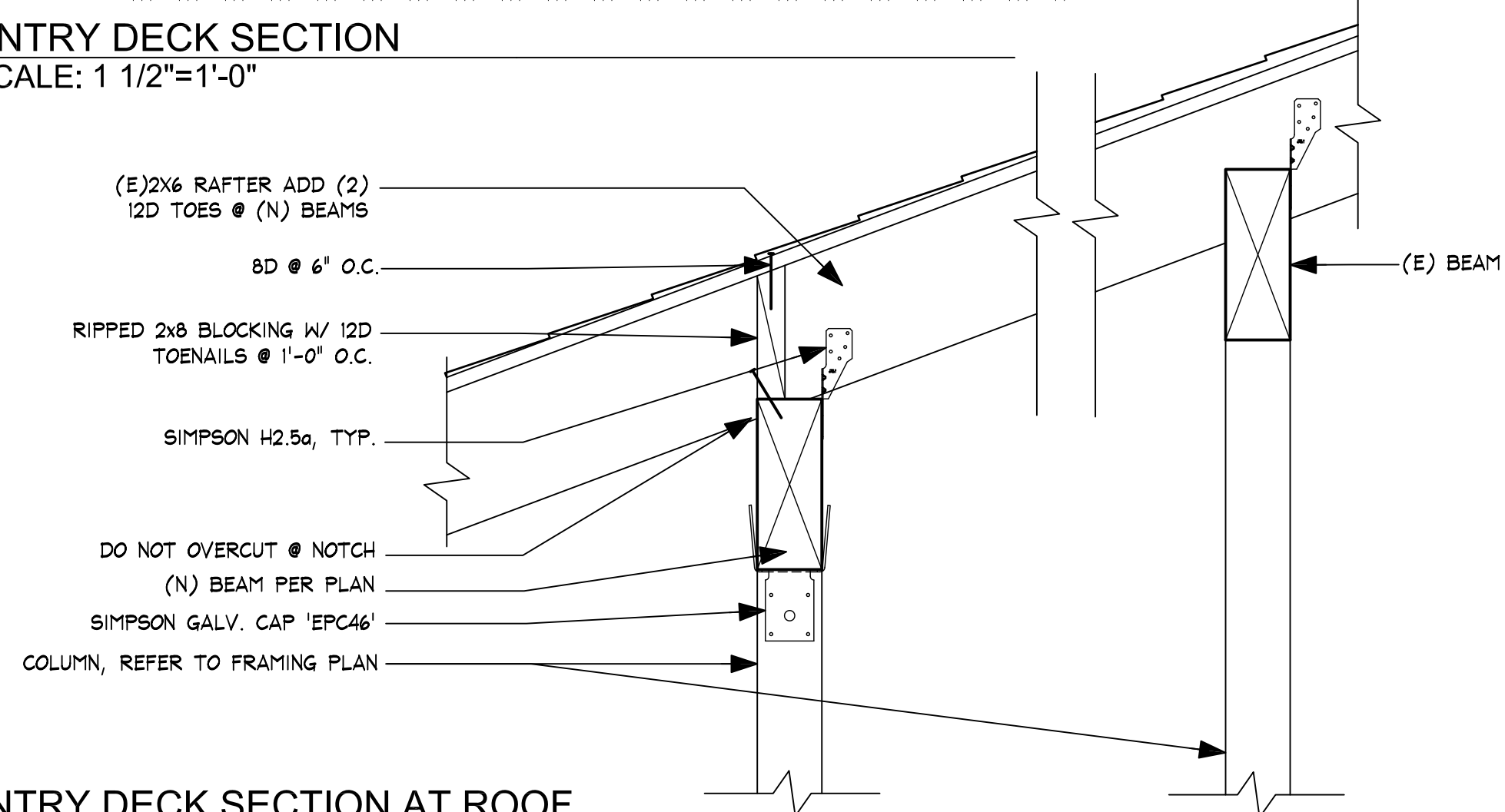
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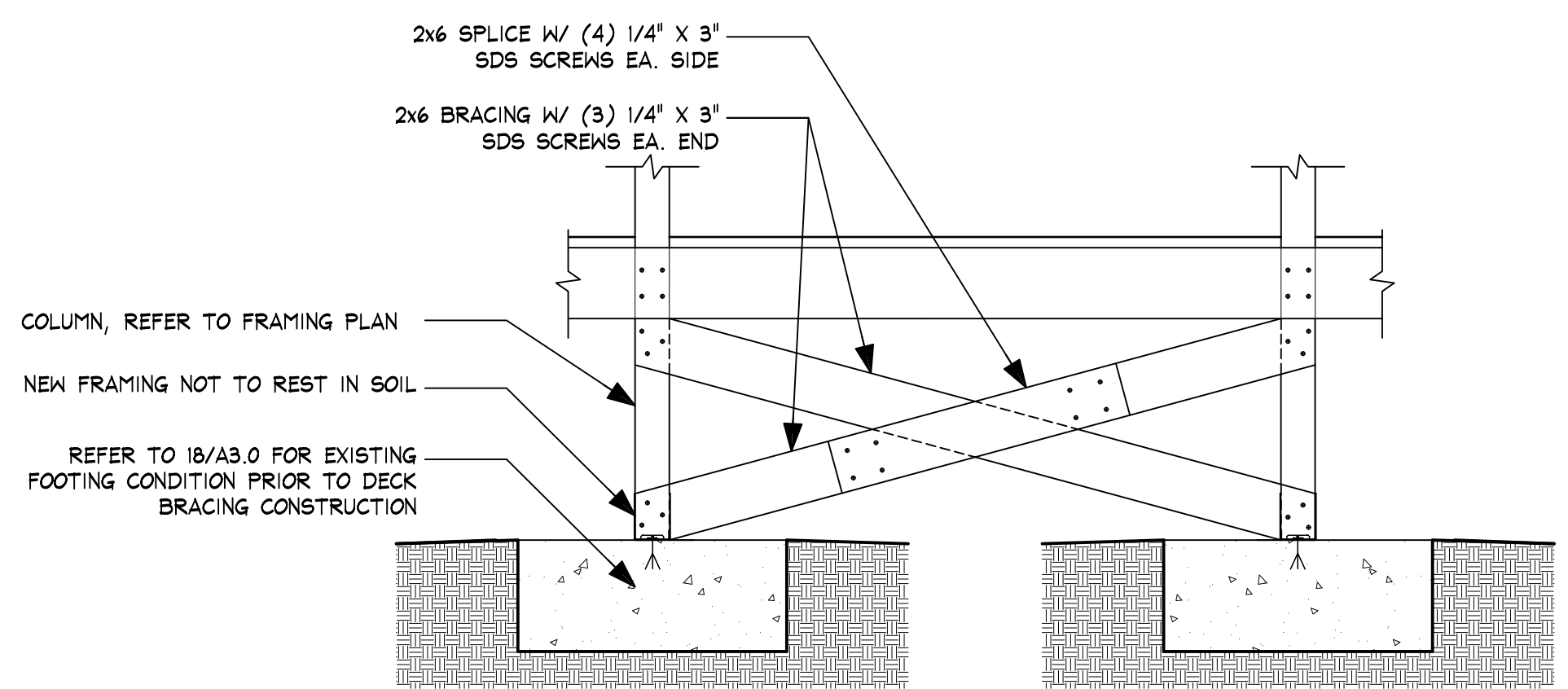
1 SECTION AT ROOF
SCALE: 1 1/2"=1'-0"



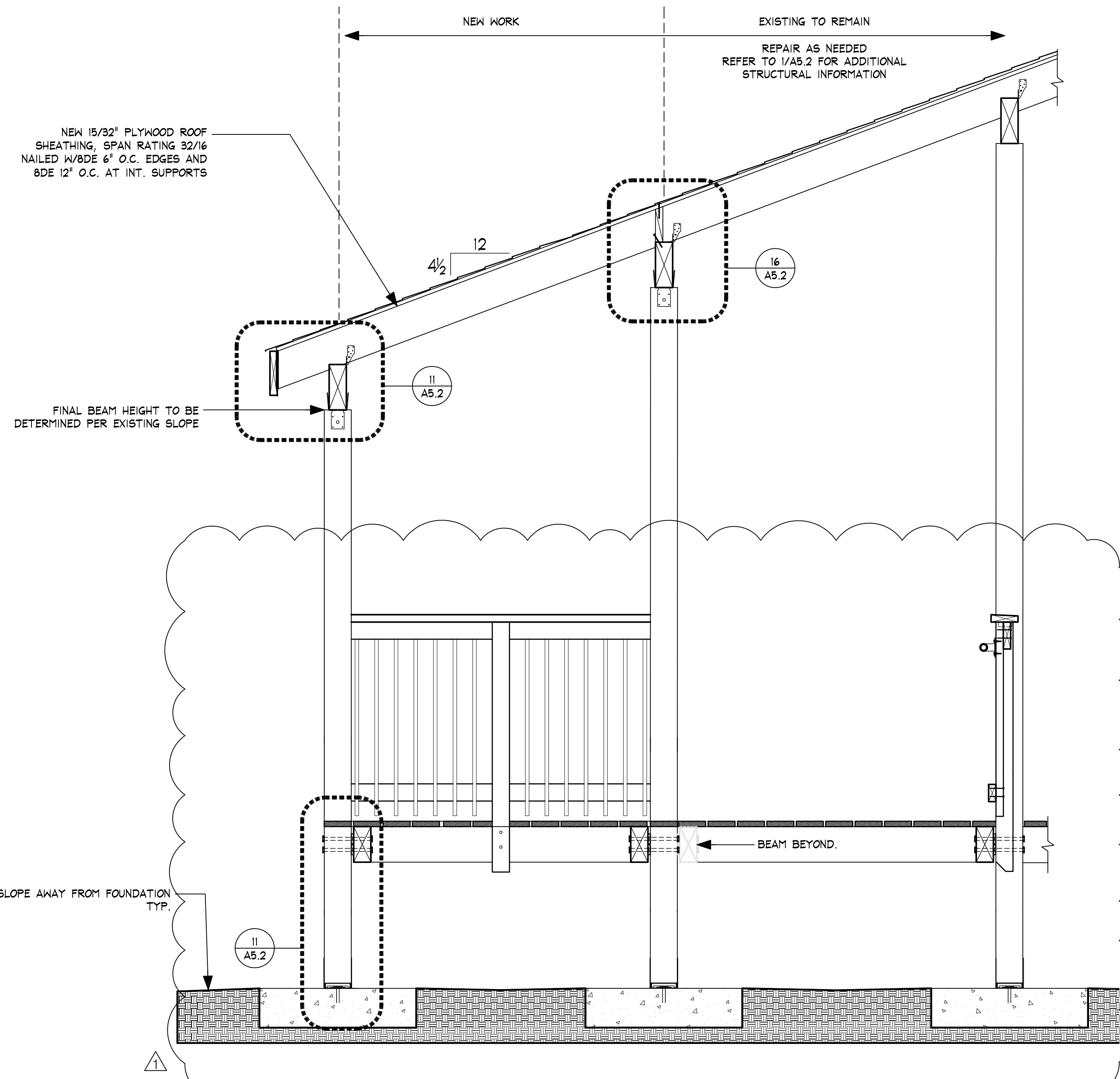
11 ENTRY DECK SECTION
SCALE: 1 1/2"=1'-0"



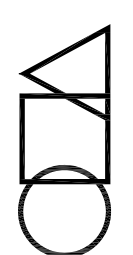
16 ENTRY DECK SECTION AT ROOF
SCALE: 1 1/2"=1'-0"



5 DECK BRACE ELEVATION
SCALE: 3/4"=1'-0"



20 ENTRY DECK
SCALE: 3/4"=1'-0"



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EXTERIOR DETAILS

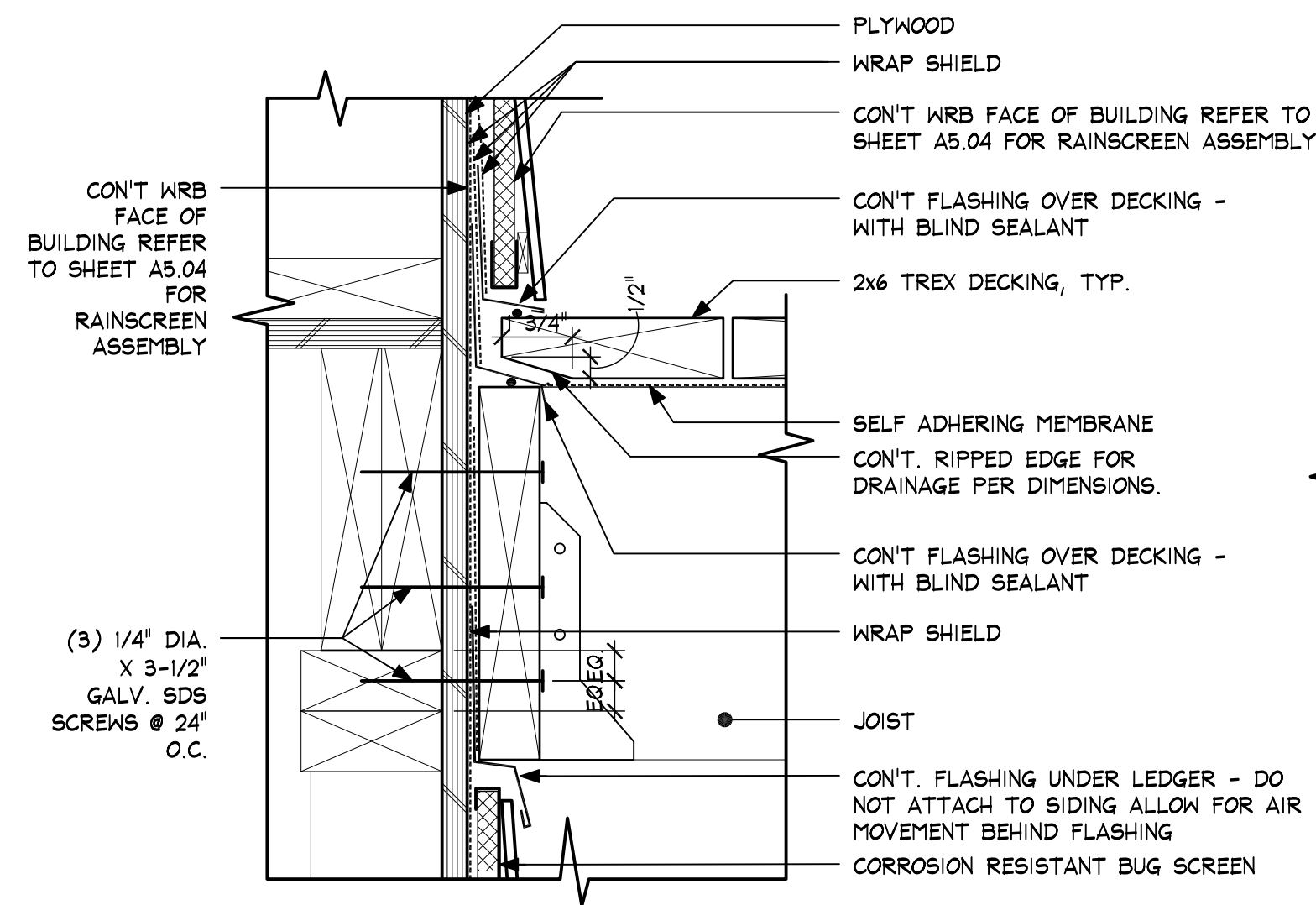
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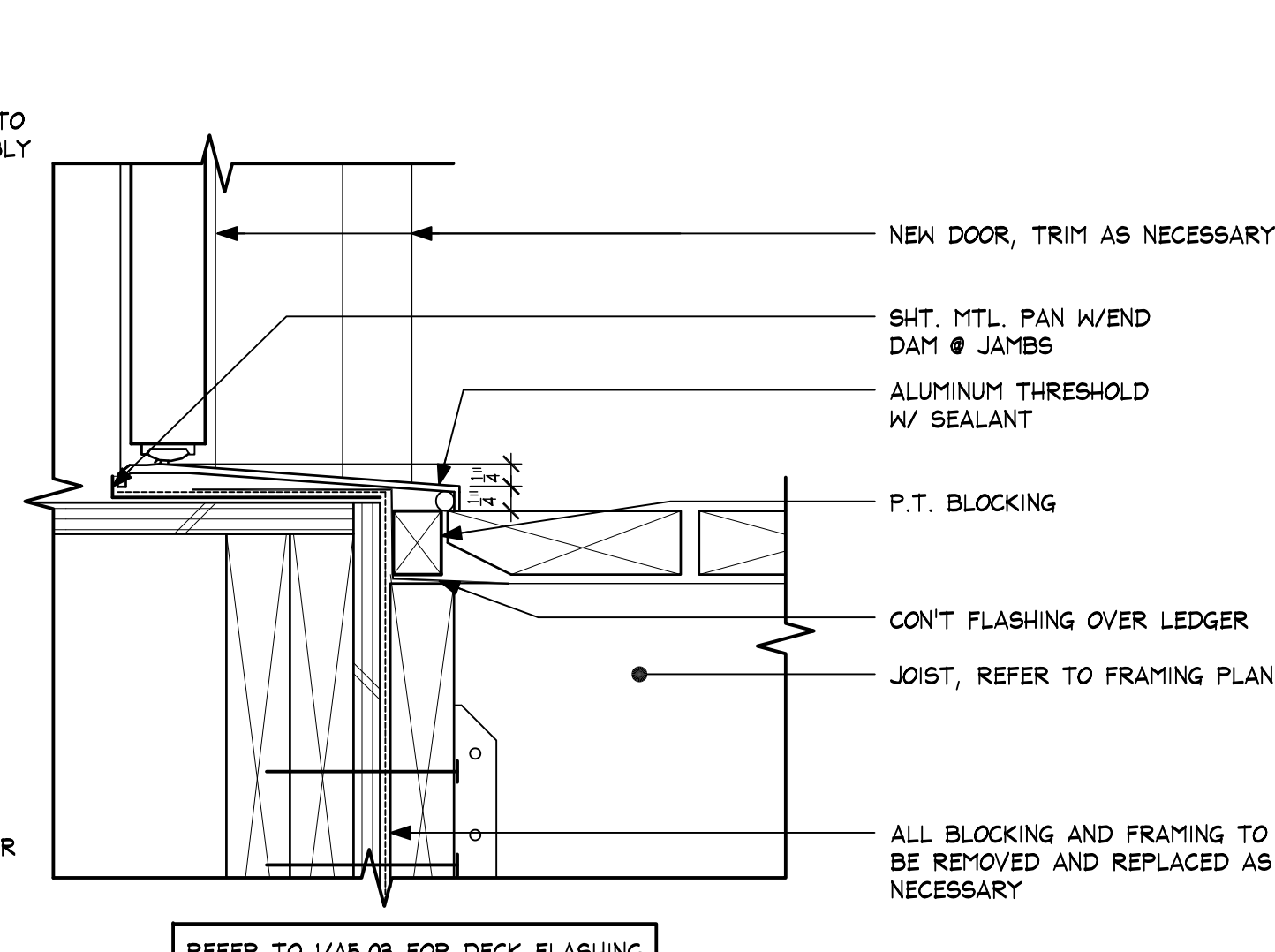
1 2/01/10 ASI#1

A5.2

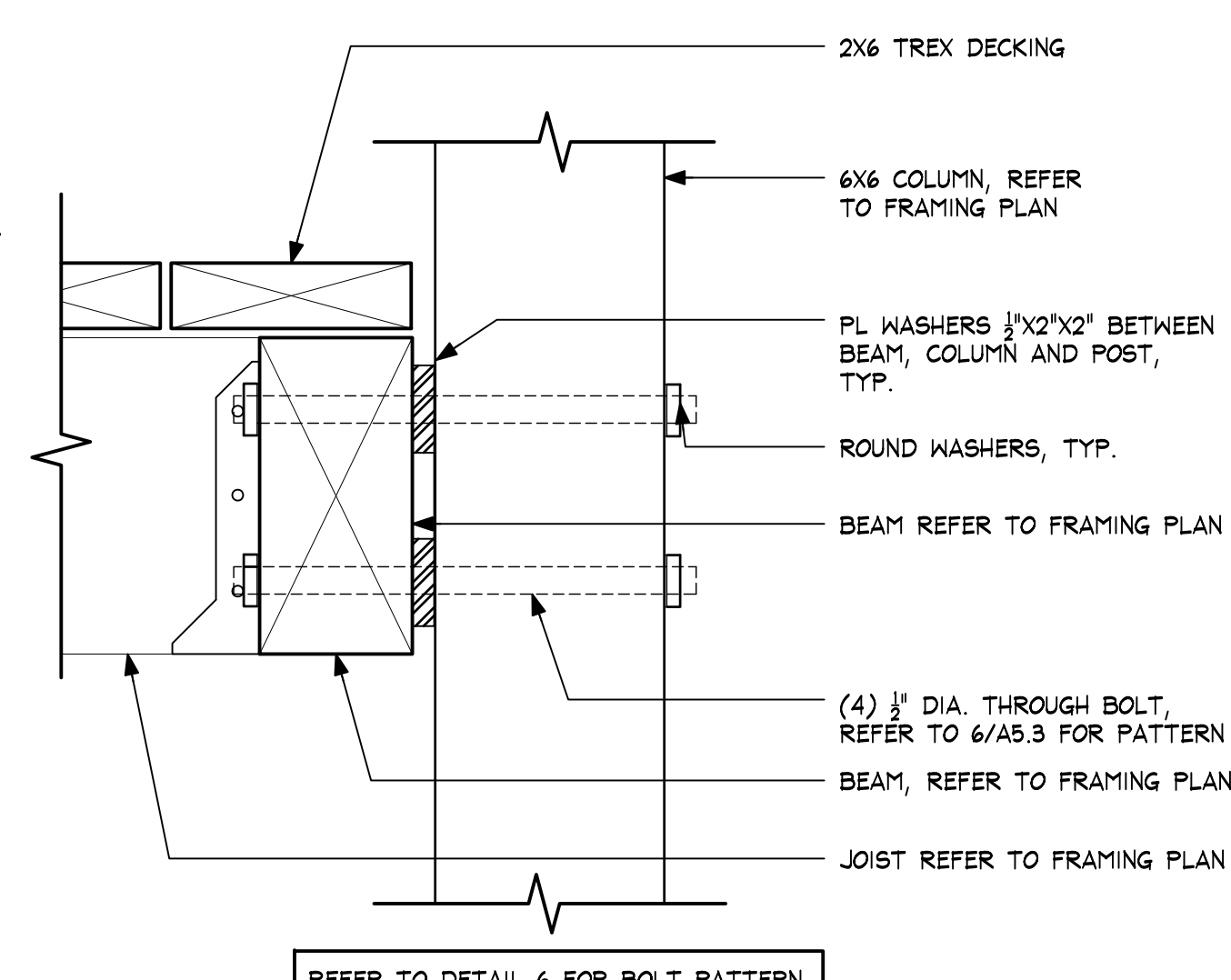
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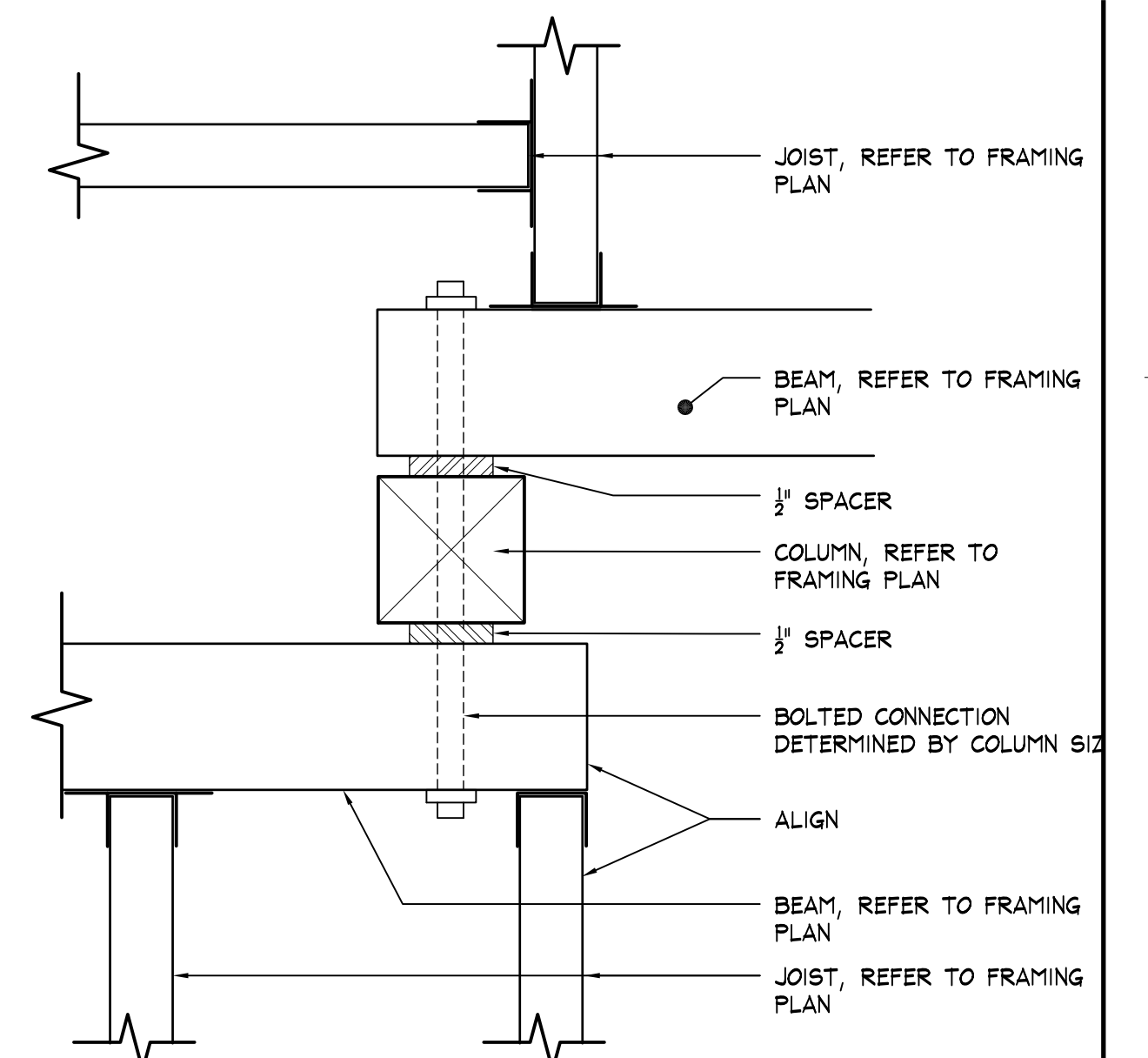
1 DECK @ EXTERIOR WALL
SCALE: 3" = 1'-0"



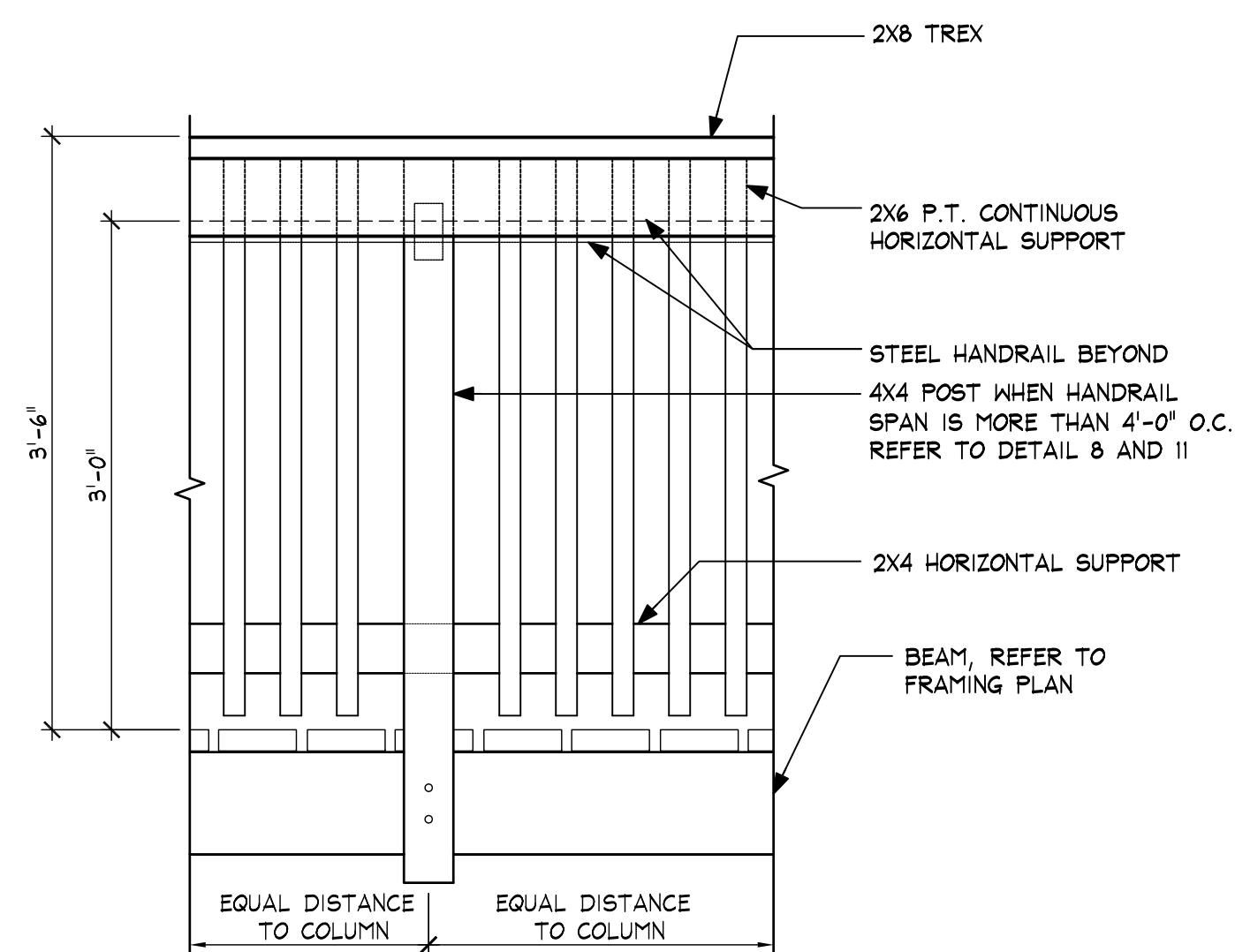
2 THRESHOLD @ PORCH
SCALE: 3" = 1'-0"



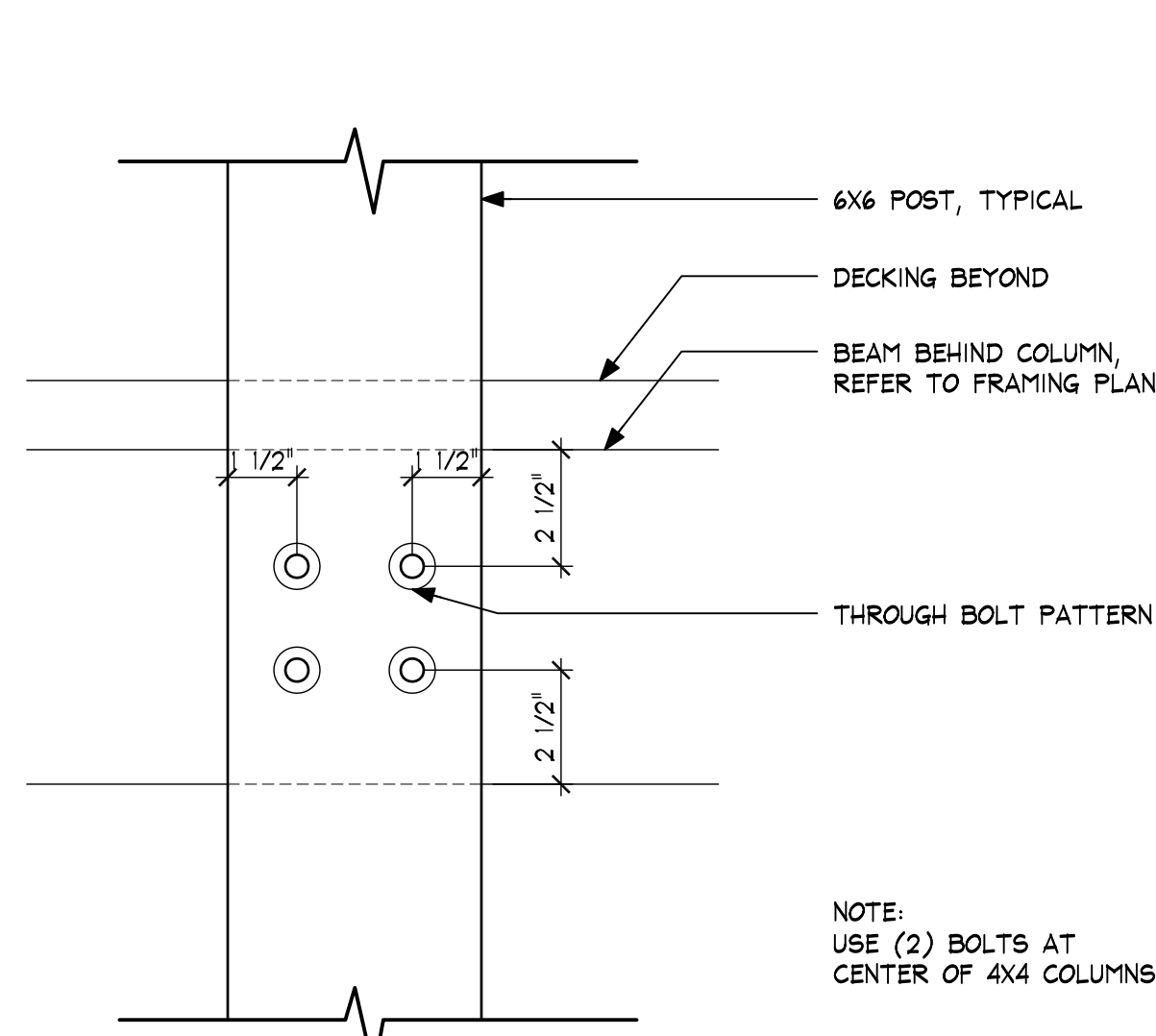
3 BEAM AND 6X6 COLUMN CONNECTION
SCALE: 3" = 1'-0"



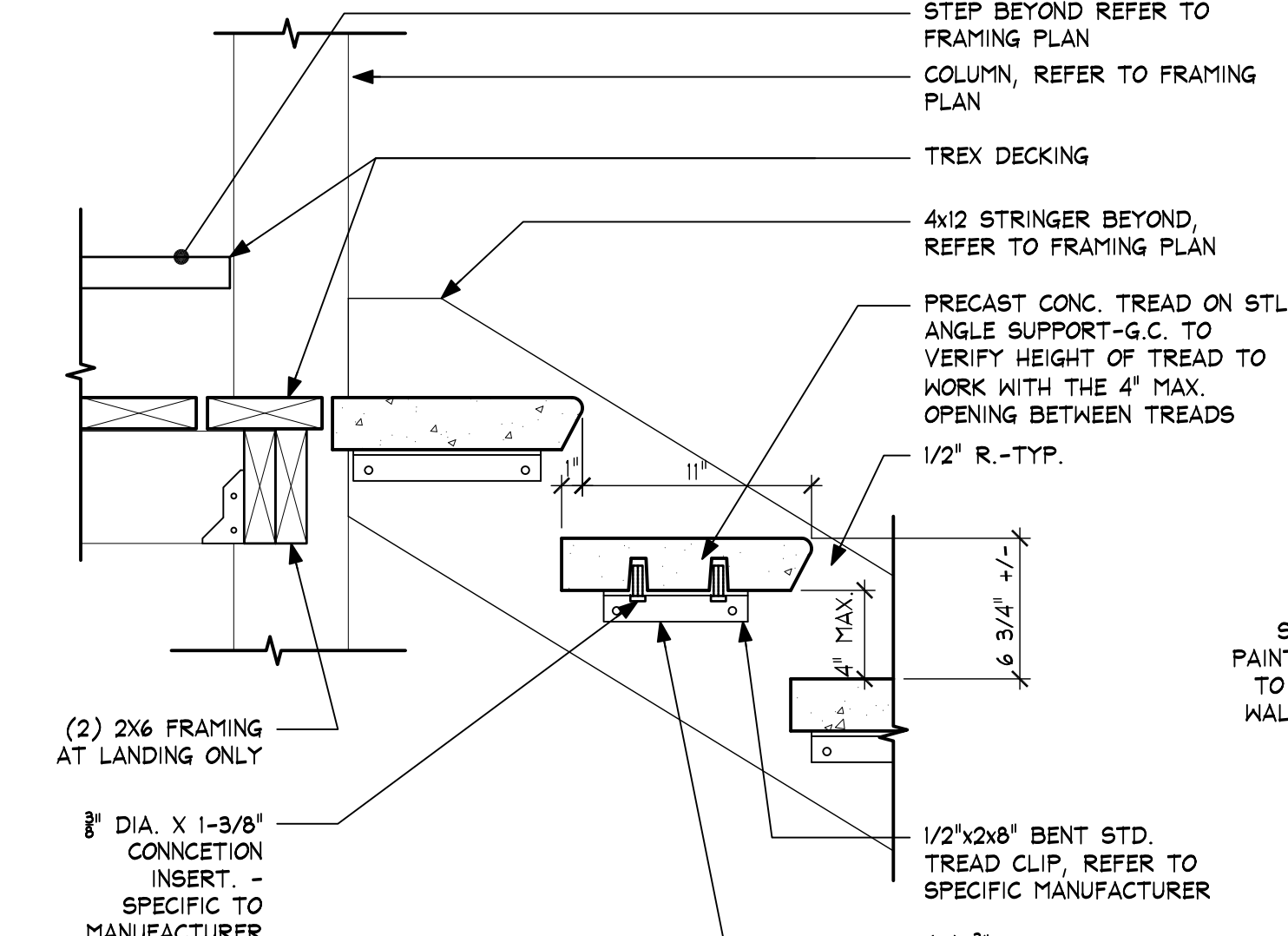
4 PLAN DETAIL OF BEAM/COLUMN/BEAM
SCALE: 3" = 1'-0"



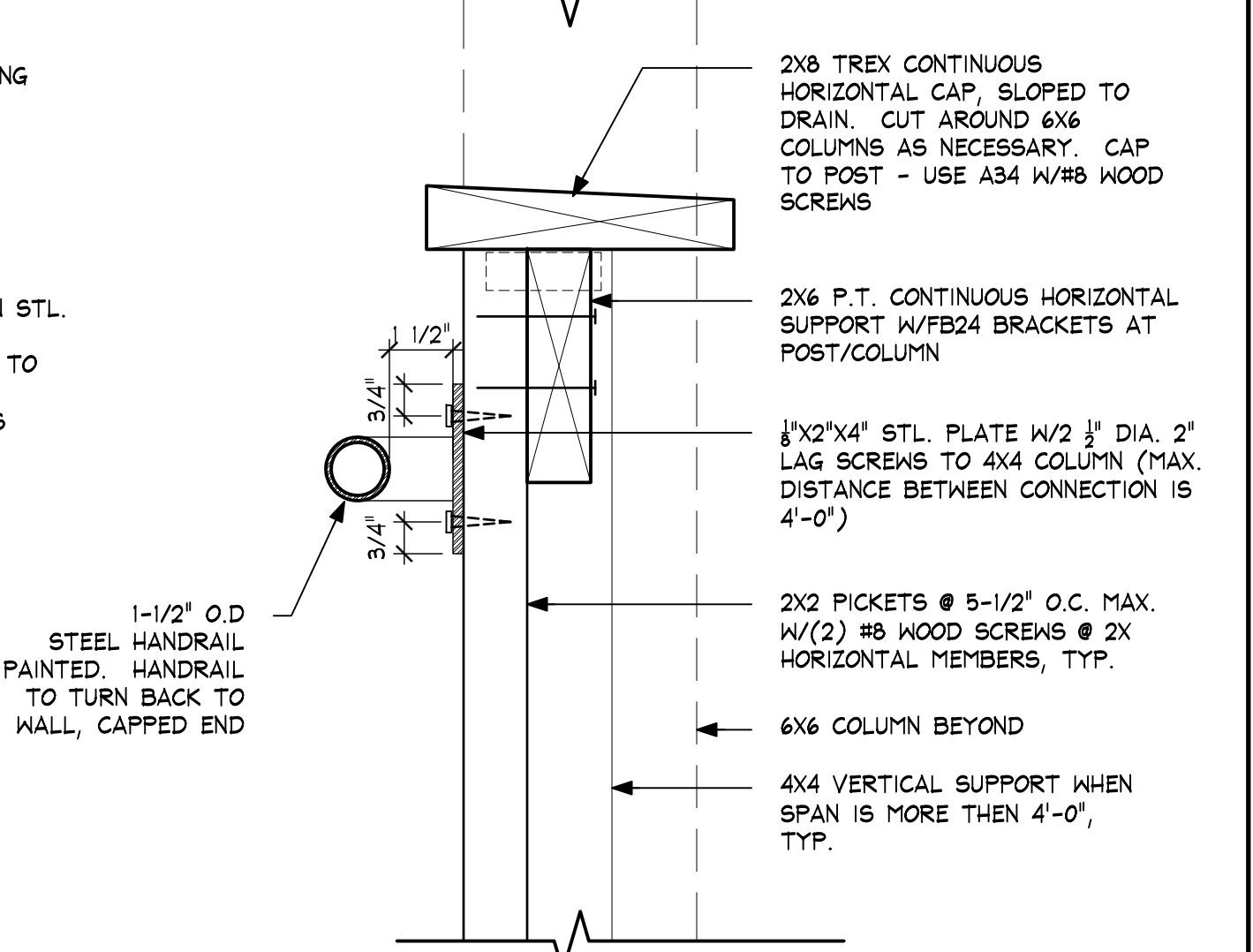
5 ELEVATION OF HANDRAIL
SCALE: 1" = 1'-0"



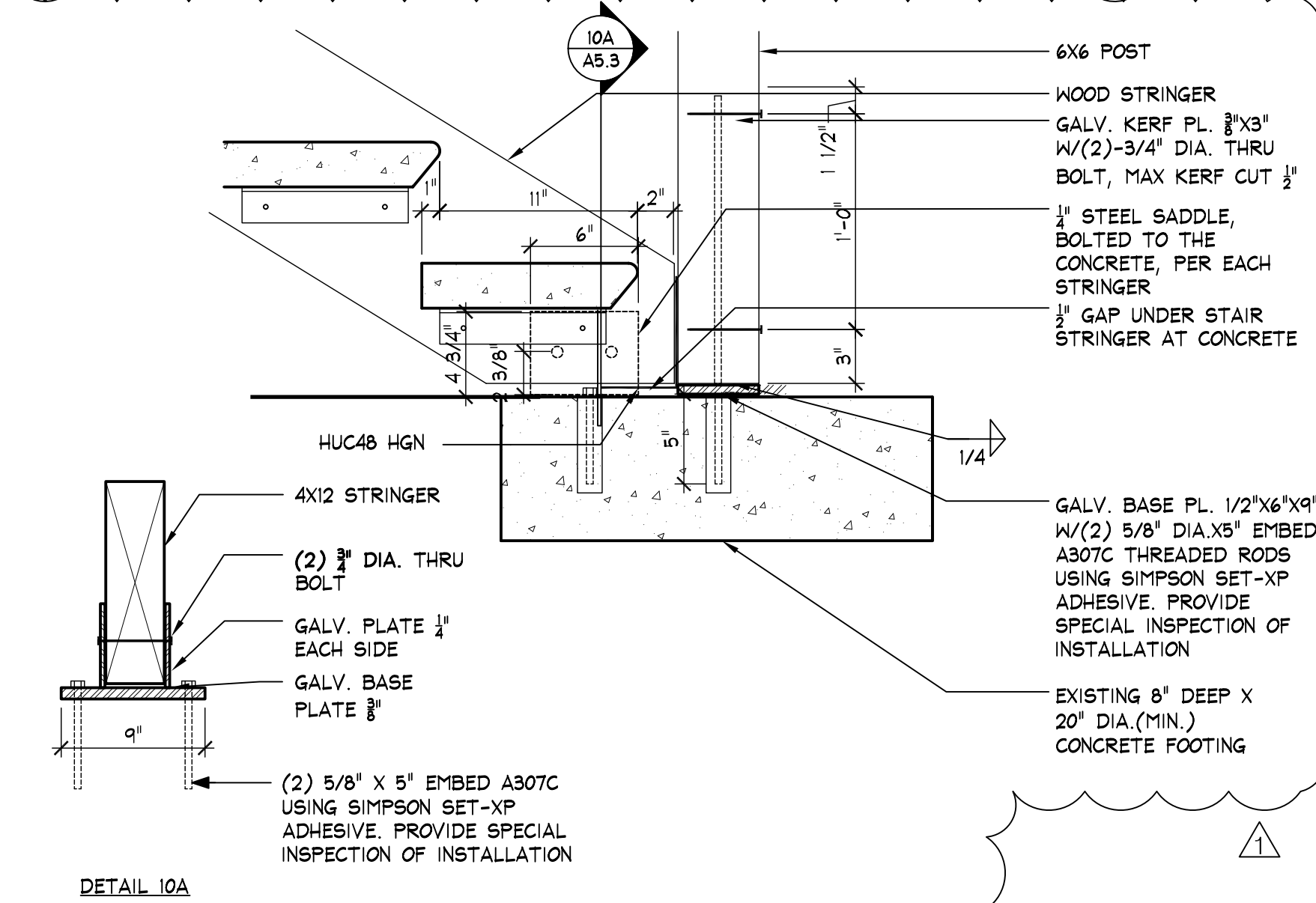
6 BOLT PATTERN @ 6X6 COLUMN
SCALE: 3" = 1'-0"



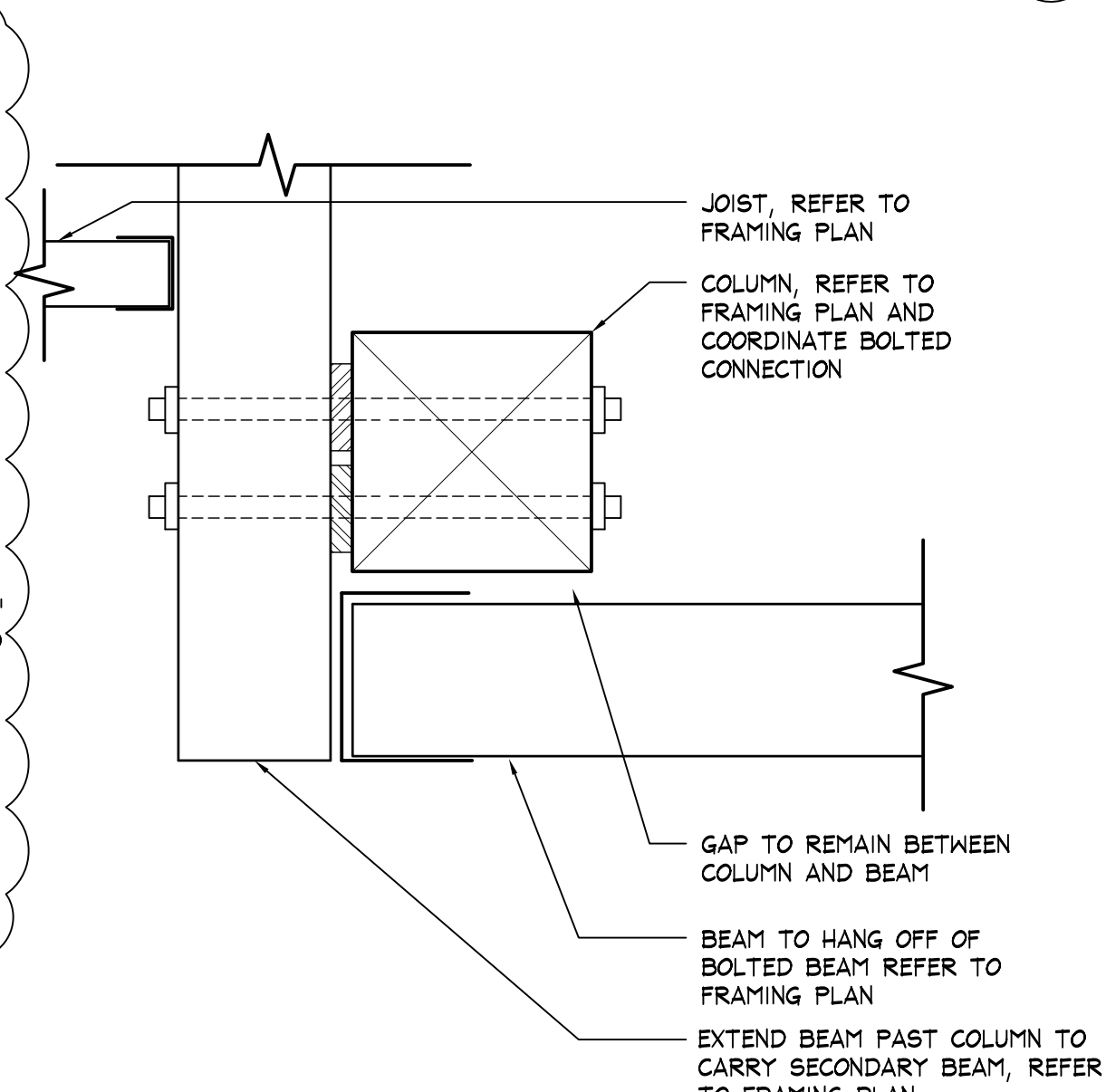
7 STAIR @ LANDING
SCALE: 1 1/2" = 1'-0"



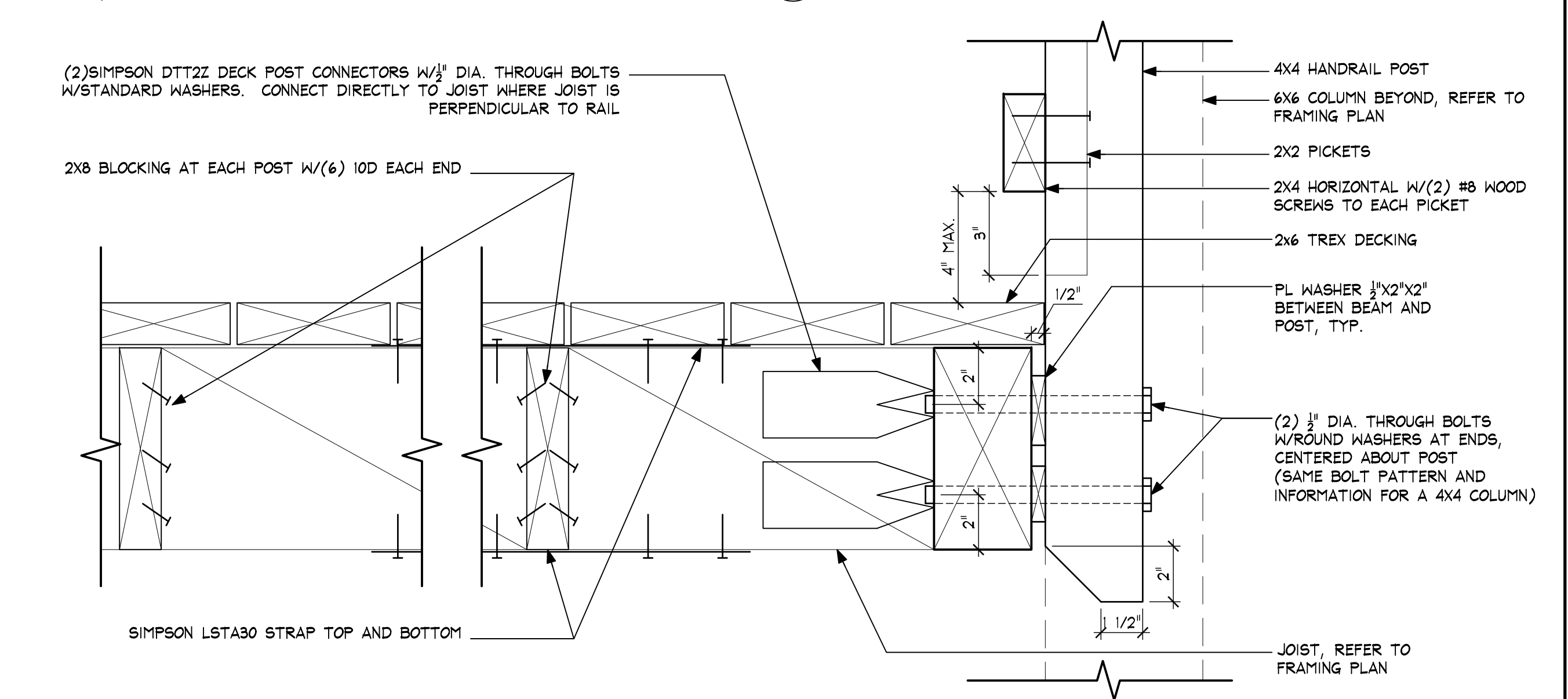
8 HANDRAIL DETAIL
SCALE: 3" = 1'-0"



9 STRINGER AT CONCRETE LANDING
SCALE: 1 1/2" = 1'-0"



10 INSIDE CORNER AT COLUMN/BEAM
SCALE: 3" = 1'-0"



11 HANDRAIL: 4X4-POST CONNECTION
SCALE: 3" = 1'-0"